

WARD: Cabot **CONTACT OFFICER:** Ben Burke
SITE ADDRESS: Guildhall Broad Street Bristol BS1 2HL

APPLICATION NOS: 1. 15/03532/F Full Planning
 2. 15/03533/LA Listed Building Consent (Alter/Extend)
EXPIRY DATE: 1. 21 October 2015
 2. 16 September 2015

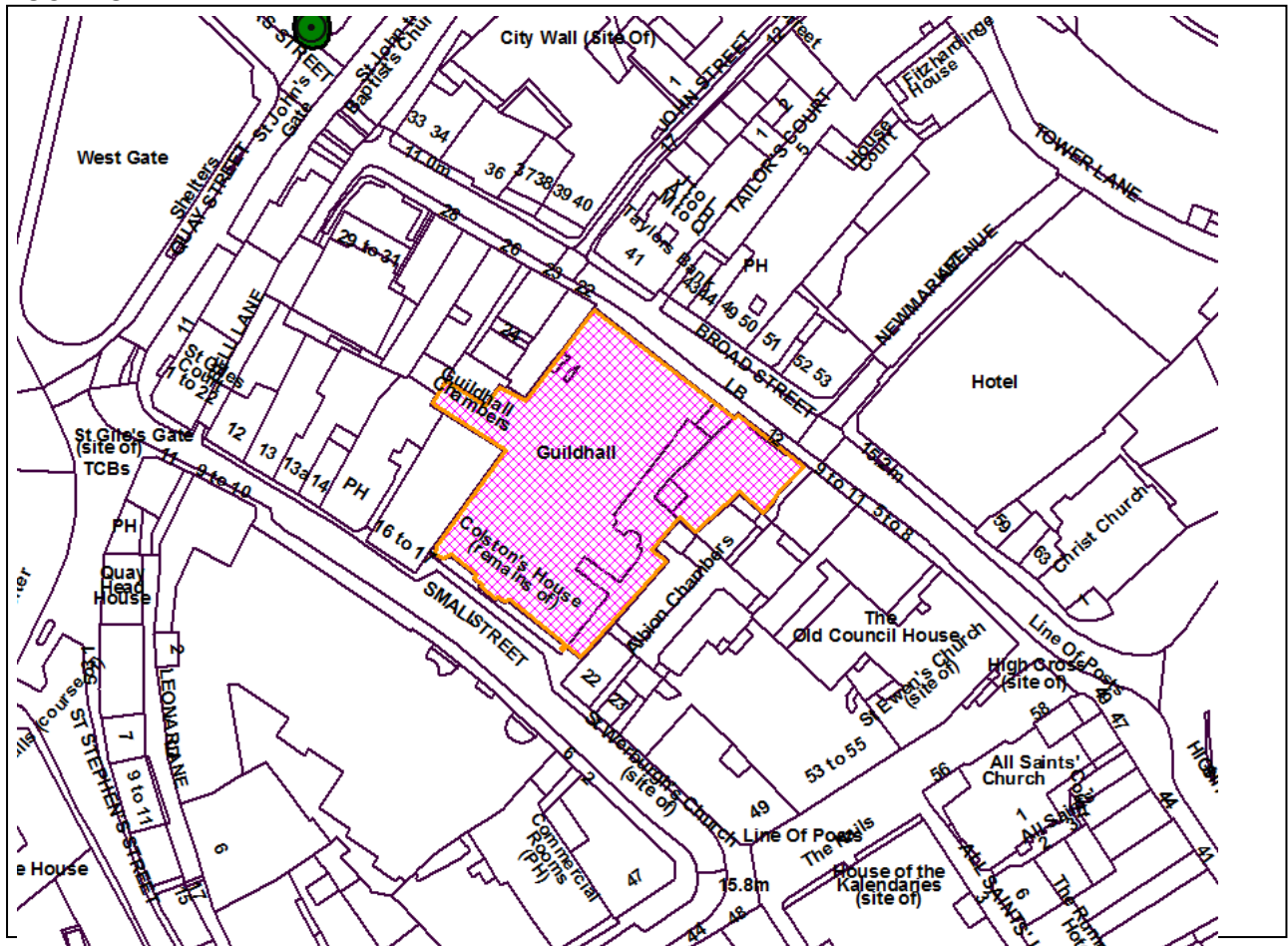
Proposed change of use and extensions to provide a hotel (C1 Use Class) with 92 suites, a spa at basement level and a restaurant, and conference and event space at ground floor level. The extensions include a two-storey roof extension to the Guildhall building with a pool and associated facilities at roof level; a single storey rear roof extension to 12 Broad Street (currently Citizens Advice Bureau Offices).

RECOMMENDATION: Grant subject to Condition(s)

AGENT: Feilden Clegg Bradley Studios LLP
 Bath Brewery
 Toll Bridge Road
 Bath
 BA1 7DE
APPLICANT: Trevor Osborne Property Group
 Rectory Lodge
 Combe Hay
 Bath
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The following plan is for illustrative purposes only, and cannot be guaranteed to be up to date.

LOCATION PLAN:



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BACKGROUND AND SUMMARY

The application site encompasses the Guildhall Building and the 12/12A Broad Street (mainly occupied by the Citizens Advice Bureaux) Grade II* and Grade I Listed Buildings respectively. The Grade II* Listed Guildhall building has been unoccupied since being vacated by the Crown Prosecution Service in 2010, except for a temporary use as public art space. Listed Building Consent was granted for the change of use and extension of the Guildhall building to a 64 bedroom hotel in April 2013 (13/00834/LA). It is advised that following consent the project was put into abeyance until the economic viability could be confirmed by the acquisition of the adjoining building, which has now occurred. It is advised that a target level of 100 bedrooms is required to justify the financial investment in the conservation, construction and operational works required to deliver a hotel of the quality and standard aspired to. The proposal consists of the conversion and extensions of The Guildhall and Bank of England buildings to a 91 room hotel and comprises the following main elements:

- Demolition of mostly 1960s fabric at the centre and basement of the Guildhall building, including the 1960s court room and cells below;
- Two storey extension at the centre of the Guildhall building comprising a lightweight primarily glazed block with a roof terrace and pool.
- A traditional pitched roof extension at the right hand side of the Small street frontage, replicating elements of the original roof design.
- A roof extension at the rear of the Bank of England building, replicating the detailing and materials of the existing roof.

Historic England, The Victorian Society and City Design Groups (CDG) main concerns about the proposal were the use of anodised metal sheet cladding for the main 2-storey roof extension to the Guildhall building and the insertion of a corridor and accommodation within the banking hall of the Bank of England Building. The cladding issue has been resolved by the replacement of metal cladding with opaque glass panels. The corridor within the banking hall has had to be retained to allow access to 12A Broad Street and the accommodation above; however, the intervention has been reduced to the minimum through the rationalisation of the accommodation to be provided above the corridor; and the retention of the majority of the hall as a large open area that can be used for the dual purposes of a suite and a conference room/meeting room. CDG and Historic England have advised that this addresses their concerns. The Victorian Society has been re-consulted, but a response has not yet been received. This will be reported at committee. The Twentieth Century Society has deferred to the Victorian Society on the impact of the majority of the proposals, but has raised issues concerning the existing fabric. This is intended to be addressed through conditions concerning the recording and re-use of existing fabric, including that from within the 1960s courtroom. A small number of objections have been received from the owners/ occupiers of residential and commercial properties concerning amenity and traffic issues. These matters are fully addressed within the respective key issues of the report. Overall, the extent of alterations and extensions proposed are considered to result in substantial harm to the Listed Buildings. The harm to the Conservation Area and surrounding Listed Buildings is considered to be less than substantial due to the limited viewed of the main two storey extension. Despite this, it needs to be recognised that the proposal will result in the viable reuse of the Listed Buildings, the restoration of historic fabric and the regeneration and renaissance of the old city; which amount to public benefits fully outweighing this identified harm. The proposal would also be of significant benefit to the city centre in providing a high quality hotel, entirely consistent with the ambitions of policy BCAP10. The application is therefore acceptable and recommended for approval.

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RELEVANT HISTORY

The site lies at the very heart of the early medieval town of Bristol. While there has been a Guildhall on the present site since at least 1348, there has certainly been settlement on the site from much earlier than this, probably from the foundation of Bristol in the late 10th century. The Small Street frontage was originally occupied by merchants' houses and this southern portion of the complex retains more surviving pre-Victorian fabric than the northern side, particularly at basement level.

The current former Guildhall, in the Tudor Collegiate style, was built in 1843 to the designs of R S Pope. The Small Street frontage, also by Pope, was built in 1868 to house the Assize Court, replacing a terrace of merchant's houses, including no. 20, 'Colston's House', which was one of the largest in the city centre. The mid-Victorian developments largely obliterated the surviving fabric of the previous buildings, with the exception of below-ground fabric associated with the former Small Street properties. The exterior of the building has been subject to very little alteration since its construction in the mid-19th century.

The Guildhall was adapted for a new use by the Courts of Justice in the early 20th century. Following impact by a WW2 incendiary bomb in 1940, the building underwent substantial internal alteration and modernisation. Significant alterations included the rebuilding of the cells in the basement and removal of a 12th century arcade in the south-east corner of the building in the 1960s, with incremental adaptations continuing up to the 1990s. The internal presentation of the building as it stands today is of a much altered, partitioned law court. The character is broadly institutional, with decorative features of interest from the 1840s up to the 1960s.

SITE DESCRIPTION

The site is located within the city centre and the designated City and Queen Square Conservation Area. The application site concerns two buildings, The Guildhall, previously law courts, 12 Broad Street, currently occupied by The Citizens Advice Bureau and 12A Broad Street, a private art gallery at ground floor level and a private tutorial college above. Both these buildings will be referred to as the Bank of England building. The Guildhall is a Grade II* Listed Building and 12 Broad Street is a Grade I Listed Building. There is a courtyard and through route at the eastern side of the Guildhall with historic access gates at either end. The site is adjacent to listed buildings located either side and on the opposite side of Broad Street.

APPLICATION

The proposal is for a change of use and extensions to provide a hotel (C1 Use Class) with 91 suites, a spa at basement level and a restaurant, conference and event space at ground floor level. The extensions include a two-storey roof extension to the Guildhall building with a pool and associated facilities at roof level; and a single storey rear roof extension to the Bank of England building.

The Guildhall building is located between and fronts onto both Broad Street and Small Street. The main hotel entrance is to be from Broad Street, as well as a separate staff and servicing access. There is a separate access to the conference and events facilities on Small Street. The hotel reception, restaurant and bar located at the Broad Street side of the building. The bar and restaurant is intended to be open to the public as well as hotel guests and aims to have a capacity of at least 90 covers. The conference and function facility is located at the Small street side of the building. The basement spa facility includes treatment rooms and exercise machines, and is also intended to be open to public alongside hotel guests. The courtyard and through route between the Guildhall and the Bank of England building is proposed to be open to the public during daytime hours and only closed off at night. It is also intended to serve as a courtyard area for the restaurant and bar and to contain associated seating. A glazed access link between the Guildhall and the Bank of England building is

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proposed within this through route next to the Broad Street access; to provide a link corridor between the buildings when the through route is close to the public outside daytime hours. This is proposed to be fully glazed with folding glazed doors that will be pinned back during day time hours.

Internal Alterations:

The main internal alterations to the Guildhall involve the demolition of the central part of the Guildhall, basement cells and 1960s courtroom, all dating from the 1960s; and the removal of the modern floors in the Broad Street tower to recreate a triple height space and allow views to the original vaulted ceiling. The alterations to the Bank of England building are less invasive, the most significant being the removal of the mezzanine floor and modern partitions within the main banking hall and their replacement with a single suite and corridor.

External Alterations and Extensions:

A two storey extension is proposed to be added the area behind the Broad Street tower at the central part of the building, which suffered serve bomb damage during WWII and has little surviving historic fabric. This is lightweight primarily glazed block with a maximum width depth and height of 21m, 24m and 7m respectively, giving this part of the building a total height of 19m. The extension is set back from the Broad Street and Small Street frontages by 6m and about 26m respectively. The extension includes a roof top terrace and swimming pool, including a swimming pool (8.2m x 4.3m), two terrace areas and glazed pavilions providing a WC and an area for modest servicing. A roof extension is proposed at the Small Street frontage to the right of the entrance tower. This has a slate pitched roof facing the street with 6 small dormer windows centrally aligned with the bays below, behind this it is flat roofed with a pitched roof at the rear. There is a corridor linking this extension to the main Guildhall extension. A roof top extension is proposed at the rear of the Bank of England Building, providing a suite and extending the lift to roof level. This is of a traditional mansard roof design with slate tiles and timber dormer windows and to match the existing roof. The extension has a stone wall at the rear slightly set back from the existing chimney stack.

Summary:

The proposal consists of the conversion and extensions of The Guildhall and Bank of England buildings to a 91 room hotel and comprises the following main elements:

- Demolition of mostly 1960s fabric at the centre and basement of the Guildhall building, including the 1960s court room and cells below;
- Two storey extension at the centre of the Guildhall building comprising a lightweight primarily glazed block with a roof terrace and pool.
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- A roof extension at the rear of the Bank of England building, replicating the detailing and materials of the existing roof.

PRE APPLICATION COMMUNITY INVOLVEMENT**i) Process**

The applicant's Community Involvement Statement outlined that they consulted with Councillors, Destination Bristol, the Management Group of St Nicholas Market, Old City Traders, The Minister of Parliament for Bristol West and adjoining owners. In addition, that a public exhibition was held between 10-14th June, advertised through a notice in the Evening Post.

ii) Fundamental Outcomes - CIS

The consultation did not fully conform to the Council's best practice guidelines as the applicant did not involve the Bristol Neighbourhood Planning Network (BNPN) in the process, who normally co-ordinate contact between the applicant and local community groups. However, on the basis of the above, it is clear that the applicant has carried out a relatively extensive consultation exercise, which is

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considered to be adequate. It is detailed that the responses to the consultations were positive and in favour of the proposal. With regards to the exhibition, 12 comments were received. These were mostly in support of the proposal, but a number of objections were received concerning an over provision of hotels within the city and the design and choice of materials being inadequate, or needing improvement. It does not appear that specific changes were made in response to the public consultation exercise; however, significant changes and improvements have been made to the design through the application process.

RESPONSE TO PUBLICITY AND CONSULTATION

A Press Notice was published, a Site Notice displayed (12.08) and 128 properties within the locality were consulted. 4 comments were received, 1 in support and 3 objecting to the application. These will be summarised as follows:

a) Support and neutral comment

- o The proposed hotel use is welcomed in principle.
- o Consideration should be given to the protection of local businesses during construction and minimised.

b) Objections

- o There are numerous residential properties at the upper floor levels of Broad Street adjacent to or close to the Guildhall and its roof, which need to be given consideration.
- o Two storey extension will result in a loss of light to the properties opposite.
- o The use and extension would result in a loss of privacy to the residential properties opposite.
- o The position of the main entrance on Broad Street and the roof top terrace will result in noise disturbance to the residential properties opposite.
- o We object to the two storey extension and roof level pool and terrace that would be harmful to the amenity of local residents, specifically apartment J, 41 Broad Street.
- o With regards to Apartment J, 41 Broad Street, the proposed 2 storey extension, roof terrace and pool would result in overlooking of habitable rooms and its external terrace and result in a loss of natural light and sunlight. In addition, the use and terrace would cause excessive noise disturbance, particularly if its hours of use extend into the evening and night.
- o The surrounding properties would affect the privacy of the roof terrace and pool.
- o In respect of Fosters Chambers, 17 Small Street, the proposal could result in noise and disturbance, as could the associated plant and equipment and construction works, which could also affect access. The right to light of this property should not be affected.
- o The construction works will result in disturbance and nuisance to the residential properties opposite.
- o The proposal would result in traffic issues.

OTHER COMMENTS

Historic England:

Response to re-consultation:

As discussed, we welcome the intention to return to the glass cladding for the new extension element. We remain concerned regarding the proposal to insert a corridor through (with a mezzanine over) the banking hall in the former Bank on Broad Street, although we accept that the removal of the current partitions, and false ceiling, in this space will be an enhancement; and as such, on balance, we do not object to this element of the application. [The agents have submitted Post-Planning Sketchbook 8 in response to this issue. This illustrates a corridor with the minimum of accommodation above and retention of a large open area that can be used for the dual purposes of a suite and conference room/meeting room].

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Original comments:

The justification for the scale and extent of the interventions within this complex of Grade II* and Grade I buildings requires careful consideration. The current proposals are for amendments to an existing permission, covering the Grade II* Guildhall, and for new proposals to take in the Grade I former Bank of England Building. Whilst some areas of concern have been addressed during the pre-application stage, there remain a few elements of concern outlined below.

A previous permission exists for the conversion and extension of the Grade II* Guildhall (formerly law courts) into hotel use. This involved a substantial amount of demolition, of later phases, and a large central extension (amongst other works). The current proposal involves some amendments to that proposal, but also takes in the Grade I former Bank of England Building to Broad Street (1844-47) by CR Cockerell.

There has been a period of pre-application negotiations prior to the current submission, and although most elements of concern have been addressed there remained a number of unresolved issues prior to submission. Given the complexity of the proposals and the extent of previous comments, for the sake of brevity, these comments will focus on the remaining areas of concern.

We understand that since submission of the current drawings, the scheme has been revised to omit the additional bridge bedroom which was a source of great concern to both ourselves and Bristol City Council. This removal is welcomed, and these comments are based on the information supplied but on the understanding that the bridge room has been omitted.

As noted previously the consented extensions are significant in scale and were justified on the basis of bringing such a complex and large site back into viable use. Concerns regarding the scale of the intervention remain, and you must satisfy yourself that the scale and impact of the proposals are the minimum to secure the long term future of the historic assets. As also noted at pre-application stage that amendments to the roof top pool area (to those previously tabled at pre-app stage) are welcomed, although concerns remain regarding the green-wall element. With regards to the cladding we share the Council's serious concerns: a solid metal (such as brushed anodised sheets) will only serve to increase the apparent visual bulk of the already substantial extension, as well as introducing another material (in addition to the stone below, glazing, and ceramic window/balcony returns). The cladding examples illustrated in the Design & Access show that glass cladding, albeit opaque, will offer a lighter, more-reflective surface to the extension, that would reduce its visual presence/bulk and would perhaps tie in better with the ceramic window/balcony returns. The layering and detailing of these facades will be crucial to the final appearance of the extension.

Also of great concern is the proposal to insert a mezzanine floor/room into the banking hall of the Grade I Bank of England Building to Broad Street. This element of the proposal was not illustrated fully at pre-application stage. The banking hall is probably the most significance internal space within the listed building, and whilst we welcome the removal of the temporary office partitions and false ceiling, the insertion of a mezzanine level would cause considerable harm to the significance of this space. It is not clear whether the mezzanine level in the Grade II listed former Bow Town Hall is an appropriate precedent to cite. This element of the proposals should be removed.

Subject to justification, we do not object to the rear roof extension to the Grade I Bank, although some concerns remain about the lift over-run.

Given the scale and complexity of the building, your specialist conservation staff may identify other areas for enhancement; however, it is noted that there may be opportunities for the retention and re-use of more original fabric. For example, there are what appear to be lockers for the judges' robes to the first floor to the annex building containing the grand fireplace. We did note some damage to the fireplace (which it is proposed to relocate as part of the proposals) and we would recommend that it's protection, repair and re-construction are carefully conditioned and monitored.

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Victorian Society:

The proposed subdivision and mezzanine floor in the banking hall were found to be unacceptable by our Southern Buildings Committee, and we therefore object to this planning application.

Charles Robert Cockerell is widely considered to be one of the most important architects of the Victorian period and certainly the most eminent of the neo-Classical tradition. As architect to the Bank of England, he also built branches in Liverpool and Manchester in addition to Bristol. These are based on a similar theme, involving an ingenious solution to a restricted site. According to classical rules of proportion, three storeys, as required by the bank, could not be incorporated behind a portico, only two. Cockerell therefore separated the pediment from the cornice, squeezing the third storey in between. At Bristol, the spacing between the columns is also utilized for particularly wide windows to light the banking hall behind. As an accomplished and clever design, the building has been awarded the highest listed status, a distinction only 2.5% of all listed buildings can claim.

The dilapidated subdivisions and suspended ceiling are to be removed, revealing the original form of the banking hall. Not conserving it that way would be a missed opportunity. The insertion of a mezzanine floor and subdivision of the principal space of any Grade I listed building would constitute substantial harm to the significance of the heritage asset. Paragraph 132 of the NPPF states that substantial harm to grade I listed buildings should be wholly exceptional. Contrary to paragraph 133 of the NPPF, it has not been demonstrated that this harm is necessary to achieve substantial public benefits that outweigh the loss of significance.

Domestic use, as hotel bedroom, is an entirely inappropriate change of use for this public room. At the very least, the banking hall should be restored to its original design, without the addition of intrusive elements. Surely the space would be better suited to use as a function room or foyer; sacrificing one bedroom for the sake of preserving one of the most important elements of the building (the other being the façade), is not a tall order. This would serve as a substantial public benefit which would go some way in mitigating the damaging roof extension to the adjacent Guildhall.

We therefore recommend that consent is refused for this application. I would be grateful if you could inform me of your decision in due course.

Twentieth Century Society

We wish to defer to the Victorian Society on the impact of the majority of the proposals which will affect the Victorian fabric of the grade II* listed Guildhall and the grade I listed former Bank of England building.

However, we would like to emphasise the high quality of the fittings and furnishings within the 1960s courtroom in the Guildhall building which remains remarkably intact, with a full suite of oak furniture as well as original light fittings. The fixed timber wall panelling and the limestone back wall behind the judge's dias appears to be of particularly high quality.

We recognise the need to use the space flexibly and welcome the proposal to re-use the oak furniture elsewhere in the building. However we strongly recommend that the fixed panelling and limestone is retained in situ, and that the light fittings are retained and re-used.

City Design Group:

City Design Group supports in principle the proposal to revitalise and secure investment into valued buildings and create a five star boutique hotel and spa in the heart of the Old City.

Guildhall Extension

The current scheme builds on the established principle for the insertion of a new block within the fabric of the retained exterior wall in the most modified and least sensitive part of the Guildhall. The

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current scheme is considered to make improvements to the design of aspects like placing the staircase and lift overrun away from the façade facing the courtyard and places it along the axis of the existing towers at Broad Street and Small Street ends of the Guildhall. In doing so, it recognises and reinforces the axial arrangement of the towers and proposes a contemporary intervention at a moderate non-competing scale. This also helps to retain the elevation facing the courtyard as a simple rectangular block with a horizontal parapet which is considered to be an improvement on the consented scheme.

Elevations for the Guildhall extension

The design of the elevations is done in a simple contemporary manner with attention to details such as the modulation of the elements reflecting the proportions of the existing façade. The agreement of the design team to use glass as a single cladding material for the extension and use of fins to add a layer of interest is welcomed as a design approach.

The glazed extension will read as a distinct but light weight and refined extension which inherits the proportions of the retained façade. The change in the design and appearance of the extension is designed as a lightweight 'sleeve' inserted into a historic fabric. The design of the extension is considered to be sympathetic to the listed building and its setting.

In addition, the proposed collaboration with an artist to design the ceramic finish within the recessed balconies also provides an opportunity for an additional layer of interest in design of the elevation. It is however important to ensure that the design of the ceramic finish is appropriate to the setting of the listed building and the design considerations.

Roof top area

The design of the roof terrace places the staircase and lift block along the axis of the towers. The height of the new structures is lower than the height of existing tower features and the rooftop structures are arranged in a broadly symmetrical design of colonnade enclosing the space. The design takes on board the comments from Historic England about the sensitive design of the rooftop structures as well as comments from the Bristol Urban Design Forum (pre-app stage) to design the rooftop space as a compelling offer for the hotel and the spa.

It is understood that the design of the landscaping, including the furniture design of the rooftop space can play a substantial role in determining the character of the space. It is vital to ensure that the rooftop makes a positive contribution to the old city's roofline.

Glass Link

The proposed glass link providing shelter to the connection between Guildhall and the Bank of England at the Broad Street end of the courtyard is designed sensitively to ensure minimum obstruction or deterrence to the reinstated route through the courtyard.

Public access through the Courtyard

The reinstatement of the public route through the courtyard space is seen as a noticeable gain from the proposal. It is essential to repair and improve the design of the space which appears patchy and piecemeal at present. The area has also been identified as a focus for a public art commission.

Bank of England Banking Hall

The information in support of the Bank of England element of the application cites the re-opening of the banking hall as a significant conservation gain, and an area of high significance. The legibility of the historic character of this space in the current layout is extremely difficult and the proposed design will go some way to better reveal this space.

Although the proposed improvements are recognised, the introduction of a corridor through the space to provide an access corridor will cause a degree of harm to the special character of this part of the building. Various options have been discussed through the application process to attempt to reduce

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this harm and it is felt that adequate justification has been provided to demonstrate that this harm is unavoidable and outweighed by the wider public benefits of the scheme.

Bank of England Rooftop extension

The rooftop extension for the Bank of England building is contained within the eaves and ridge height of the existing structure. The rooftop extension is considered to diminish the presence of the freestanding chimneys as an original design feature. It is important to ensure that the details and construction of the new build element is noticeably different than the existing chimney structure in order to retain the identity of the original design of the listed building.

The lift overrun will appear as an intrusion in the roof form. Its location is not easily visible from the surrounding area and considered to be a comparatively less sensitive part of the design proposal.

Public Art

The public art programme for the development of the Guildhall has progressed over the past year to agree scope for a policy compliant public art programme to form part of this important development. This has resulted in the agreement of two key public art commissions for the building: (1) Landscape commission and (2) ceramic commission, and informed by a partnership with Bath Spa University, teaching staff at the University and a residency programme. The LPA feels that these represented an adequate provision of public art; however there is scope for a commission related to the archaeological aspects of the site that moves beyond the physical base of the two agreed commissions.

Archaeology

Both the Leech and Cotswold Archaeology reports highlight the south-east quarter of the building, adjacent to Small Street and forming the former Court 13 (rooms G24 and G25 on Leech's plan) as of the highest significance, with possible survival of fabric from the house built by John Smyth in the 1540s. It was here that a 12th century arcade was removed during building works in the 1960s. There is no evidence for basements in this area although there is a basement to the front of the building below the present pavement. This is almost certainly of medieval date. An incendiary bomb hit the Guildhall in 1940 and thereafter major works took place in rebuilding and modernisation, including the rebuilding of the cells in the basement.

The neighbouring Bank of England building to the south now forms part of the application. It was constructed to the designs of CR Cockerell, surveyor to the Bank of England, in 1844 -7. The Bank was built on two neighbouring properties, without ever amalgamating the two, resulting in a curious and confusing Broad Street façade actually masking the division between the main banking hall and offices and the neighbouring narrower property to its south, which is likely to be a surviving burgage plot of probably medieval date. The bank building as a whole, including the narrow building, is described in detail in an Assessment report by Cotswold Archaeology (2015).

For the most part this application retains much of the historic fabric, removing those elements that were inserted in the latter 20th century and are generally unsympathetic to the building. The Furnishings in the Guildhall and Nisi Prius Courts which are of some merit will be removed and attempts should be made for the retention of some elements of the furniture. The current arrangement will certainly need a detailed photographic record prior to removal, including the traces of any graffiti.

The removal of the majority of the cells in the former Guildhall has been agreed as necessary for the functioning of this part of the hotel. They provide an important reference to the functioning of the Guildhall and Courts and it will be vital that they are at least fully recorded. An interesting part of this record should be the detailed record of any graffiti that may be present within the cells. A fireplace in the northern perimeter wall (room B6A in the Leech report) is scheduled for removal. The Cotswold Archaeology report suggests that the party wall may predate the 1840s and thus be of the highest significance as a survivor from the earlier Guildhall phase. This feature should be examined more closely to determine its date and if necessary it should be retained.

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In this new scheme, it will be necessary to link the former Guildhall and Bank of England buildings at basement level. It has been possible to limit the intervention to a single opening. However, this will be through the south side wall of an existing vault which almost certainly predates both buildings, probably part of a now-vanished property which stood in the space now occupied by the passage between the two buildings. It could therefore be of medieval date and it will be important that this work is carried out archaeologically, with detailed archaeological recording. Links between the Bank of England and the narrow building can be provided by re-opening existing blocked openings so no new intervention into historic fabric should be required.

A programme of enabling works has been submitted, to include the soft strip and structural investigations within both the Guildhall and Bank of England. Initial investigative work, including archaeological evaluation, has already been undertaken within the former Guildhall/Assize Court in 2014 (Cotswold Archaeology 2015). This work revealed the remains of the 12th century arcade, encased within the north and south walls of the former court 13 (room G25) and intact archaeological stratigraphy below the floor of this room dating from the 12th century onwards. Artefacts included fragments of moulded plaster probably from the ceiling decoration of Smyth's house of c1540. Proposed further investigative work includes the removal of modern panelling and the cutting of trial holes in room G25. The former could reveal further traces of the 12th century arcade as well as possible early walling, while the latter may impact upon archaeological levels below the current floor. Other trial holes are proposed in the Guildhall basement, with some works, of probably lesser impact, in the former Bank of England. All invasive investigative works should be subject to archaeological monitoring, secured by appropriate conditions.

Extensive modifications are being proposed, with the removal for the most part of late 20th century additions to both buildings which have tended to detract from the overall significance of the buildings. However, some elements of the 1840s Guildhall will be removed or compromised. Permission for these works was granted in 2013. A Written Scheme of Investigation (WSI) has been submitted to cover the further recording of those elements of the Guildhall that are to be destroyed, removed or concealed. A similar WSI should be produced to cover works within the Bank of England.

Conclusion:

The above explained interventions have helped to resolve the issues and concerns with the earlier design proposals and brought the scheme in compliance with the planning policy. It is therefore recommended to grant a conditional approval for the application.

Transport Development Management (summary):

The Site Allocations & Development Management Policies document details that a proposal of this nature could provide up to a maximum of 91 vehicular parking spaces based on the number of bedrooms to be provided. No dedicated off-street vehicular parking provision has been provided as part of the proposal given the constraints of the application site, which results in the scheme being car-free/zero parking. It should be noted that this is policy compliant. The bus services within the area offer access to and from the local and wider area, and the North Fringe to Hengrove Metro bus proposal will offer a rapid city transit service. Furthermore, there are numerous public car parks within close proximity of the site, which offer approximately 3,000 public pay and display spaces.

Having considered the application on the basis of a car-free/zero parking proposal for the intended use, TDM consider that there are ample opportunities for its target market to utilise a wide variety of alternative modes of transportation to arrive at their destination other than a private motor vehicle; and there is good access to public car parks. Therefore TDM consider that a car-free/zero parking hotel is acceptable. This can be further explored in the provision of a full Travel Plan advising guests on the availability of a plethora of walking, cycling and public transportation links within the city. Measures for staff will also need to be included. With regards to cycle parking facilities, the proposal is required to provide a minimum of one space per 10 bed, which equates to 9 cycle spaces.

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The submitted Transport Assessment (TA) prepared by IMA Transport Planning (IMA-15-095) includes Drawing No(s). 'Plan 3', which details swept path analysis for a HGV utilising the existing TRO Loading Bay along Broad Street; it should be noted that existing operational servicing already takes place along Broad Street and that whilst this function takes place on the adopted highway there are no known recorded PIA's in this location associated with the servicing of the existing businesses.

Providing that a robust Waste Management Plan is submitted detailing the operational needs of the proposed development; TDM is satisfied that utilising the existing Loading Bay along Broad Street is acceptable. It is considered that sufficient Traffic Regulation Orders (TRO's) are in place along Broad Street to prevent any adverse traffic implications during servicing - a suitably worded condition has been provided subject to planning approval.

Travel Planning

A Framework Travel Plan (FTP) has been prepared by IMA Transport Planning (IMA-15-095). The submitted FTP sets out the key measures, expectations and principles that any future occupier could take or follow, when developing their full Travel Plan. As per National Guidance (NPPF) its aim is to develop a site specific Travel Plan and associated measures in a way that is effective, as far as practicable, in reducing single-occupancy car use among staff and customers, to make the site as sustainable as possible.

The FTP has been broken down into sections applicable to this development such as staff initiatives; 'cycle to work' schemes, details of public transport, car-sharing, flexible working and lift-sharing. It also proposes targeting potential customers with reduced (bulk) travel tickets (trains, buses etc.), potentially offering a shuttle bus from Temple Meads, notifying visitors of travel arrangements and providing room welcome packs.

Construction Traffic Management Plan

Given the existing constrained highway network in this location TDM require the submission of a Construction Traffic Management Plan. The purpose of this document is to detail the measures required to safeguard the existing adopted highway and its users during the construction phase of the development.

On the basis of the above, Transport Development Management consider that the proposed development is Policy compliant.

Pollution Control:

We understand that the building is listed and there are likely to be issues with any improvement to the glazing of some existing windows at the property. We do however have concerns regarding future residents of the hotel being disturbed by noise from people in the street, particularly on a Friday and Saturday night and noise from adjacent licensed premises. I would be concerned about both music breakout noise and noise from customers who congregate outside these premises to smoke.

We also have some concerns regarding noise from the hotel itself such as servicing, ventilation and refrigeration plant etc. affecting nearby residential and office premises. The hotel also proposes a kitchen in the basement for which there is minimal information as to the extraction system.

Should the application be approved we would request conditions concerning a Noise Sensitive Premises Assessment, a Construction Management Plan, details of the extraction/ventilation system, restriction of noise from plant & equipment, and restriction of deliveries to between 08.00 and 20.00 hours.

Urban Design has commented as follows:-

coordinated comments from CDG provided to the case officer

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RELEVANT POLICIES

National Planning Policy Framework – March 2012**Bristol Core Strategy (Adopted June 2011)**

BCS2	Bristol City Centre
BCS7	Centres and Retailing
BCS8	Delivering a Thriving Economy
BCS9	Green Infrastructure
BCS10	Transport and Access Improvements
BCS12	Community Facilities
BCS13	Climate Change
BCS14	Sustainable Energy
BCS15	Sustainable Design and Construction
BCS16	Flood Risk and Water Management
BCS21	Quality Urban Design
BCS22	Conservation and the Historic Environment
BCS20	Effective and Efficient Use of Land
BCS23	Pollution

Bristol Site Allocations and Development Management Policies (Adopted July 2014)

DM5	Protection of community facilities
DM1	Presumption in favour of sustainable development
DM14	The health impacts of development
DM19	Development and nature conservation
DM23	Transport development management
DM26	Local character and distinctiveness
DM27	Layout and form
DM28	Public realm
DM30	Alterations to existing buildings
DM31	Heritage assets
DM32	Recycling and refuse provision in new development
DM35	Noise mitigation

Bristol Central Area Plan (Adopted March 2015)

BCAP5	Development and flood risk
BCAP10	Hotel development
BCAP20	Sustainable design standards
BCAP21	Connection to heat networks
BCAP30	Pedestrian routes
BCAP31	Active ground floor uses and active frontages in Bristol City Centre
BCAP44	The approach to Old City

KEY ISSUES

(A) WOULD THE PROPOSAL BE ACCEPTABLE IN PRINCIPLE IN LAND USE TERMS?

Policy BCS2 concerns Bristol City Centre and states: Bristol City Centre 's role as a regional focus will be promoted and strengthened. Development will include mixed uses for offices, residential, retail, leisure, tourism, entertainment and arts and cultural facilities. Policy BCS2 of the Core Strategy concerns the City Centre and specifies that 'Bristol City Centre's role as a regional focus will be promoted and strengthened. Development will include mixed uses for offices, residential, retail, leisure, tourism, entertainment and arts and cultural facilities.' Bristol Central Area Plan (BCAP). BCAP10 is specifically entitled 'Hotel development' and specifies that proposals for high quality hotel

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developments will be encouraged; and that such development should provide active ground floor uses and/or frontages and achieve high standards of sustainability and urban design in all other respects. The supporting texts expands upon this commenting that: 'Reflecting current concerns about the imbalance between budget hotels and other types within the city centre, opportunities will also be sought to diversify the city centre's offer through the provision of small-scale, boutique hotels or high end hotels.

The applicant's supporting information concerning the use will be outlined as follows: It is understood that the applicant's ambition is to provide a high-end 'best in class' hotel, offering exceptional bedrooms and facilities, the likes of which are not currently available in central Bristol. In addition, that the client has a proven track record of sensitively developing historical buildings, each one celebrating the unique significance of the site's history. Given the high quality design and extent of facilities it is considered that this is a high quality hotel development consistent with the above policies. Therefore, the proposal is acceptable in principle in land use terms.

(B) WOULD THE PROPOSAL PRESERVE THE CHARACTER AND APPEARANCE OF THE CITY AND QUEEN SQUARE CONSERVATION AREA, THE SETTING OF SURROUNDING LISTED BUILDINGS AND BE OF ADEQUATE DESIGN QUALITY?

Section 66(1) and 72(1) impose the following duties on Local Planning Authorities when considering applications affecting the designated heritage assets of Listed Buildings and Conservation Areas. Section 66(1) of the Listed Buildings Act provides: 'In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority' shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.' Section 72(1) provides: 'In the exercise, with respect to any buildings or other land in a conservation area, of any [functions under or by virtue of] any of the provisions mentioned in subsection (2), special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area.'

Paragraph 133 -124 of the National Planning Policy Framework states: 'here a proposed development will lead to substantial harm or total loss of significance of a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh the harm or loss, or four criteria apply. Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including its optimum viable use.'

Policy BCS22 of the Core Strategy (June 2011) refers to 'Conservation and the Historic Environment' and states that: Development proposals will safeguard or enhance heritage assets and the character and setting of areas of acknowledged importance including:

- Historic buildings both nationally and locally listed; and
- Conservation Areas.

Policy DM31 of the Site Allocations and Development Management Policies (July 2014) concerns Heritage Assets and states that: Development that has an impact upon a heritage asset will be expected to conserve and, where appropriate, enhance the asset or its setting. With regards to Listed Buildings it is stated that: 'Alterations, extensions or changes of use to listed buildings, or development in their vicinity, will be expected to have no adverse impact on those elements which contribute to their special architectural or historic interest, including their settings.' With regards to conservation areas, it is specified that: 'Development within or which would affect the setting of a conservation area will be expected to preserve or, where appropriate, enhance those elements which contribute to their special character or appearance.' In respect of understanding the asset the policy requires that: 'Development proposals that would affect heritage assets will be expected to demonstrate, by a thorough understanding of the significance of the asset, how any change proposed would conserve and, where appropriate, enhance that significance.' Policy BCAP44 of the Bristol

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Central Area Plan concerns the approach to the old city and states that: 'Development will be expected to preserve, enhance and, where appropriate, reinstate Old City's historic character, particularly in its scale and massing, gain and the choice of materials used'

Existing Building:

The proposal retains and restores the existing historic frontages of the Guildhall and the Bank of England buildings. The only change to the facades is the increase in the depth of the windows on Small Street, which currently only light the upper section of the ground floor. These were designed to provide daylight to the private library and court spaces within, but minimise views in from the street and disruption of the privacy within. The intention is to lower the windows in a matching design to maximise daylight to the interior and enhance the visual link with the street; although the bays at either end will be retained at the current height to maintain a reference to the original design. As the extended windows replicate those above and will allow greater interaction with the street, the alteration is considered acceptable, and to not result in harm to the Conservation Area.

Guildhall Two Storey Roof Extension:

A two storey extension is proposed to be added to the area behind the Broad Street tower at the central part of the building, which suffered severe bomb damage during WWII and has little surviving historic fabric. This is a lightweight primarily glazed block with a maximum width depth and height of 21m, 24m and 7m respectively, giving this part of the building a total height of 19m. The extension is set back from the Broad Street and Small Street frontages by 6m and about 26m respectively. The extension includes a roof top terrace with a swimming pool (8.2m x 4.3m), two terrace areas and glazed pavilions providing a WC and an area for modest servicing.

As the extensions are set back from the Broad Street frontage at the centre of the site; short, medium and long views of the extension from public vantage points are highly restricted. The views analysis shows that the only near distance view would be a glimpse of a small part of the extension behind and to the rear of the property's central tower, from the corner of Small Street with Corn Street. In terms of medium distance views, a small part of the extension would be seen from Lewins Mead in the gap between the buildings either side of Broad Street. Turning to long distance views, the site is obscured by existing buildings when viewed from Perry Road on higher land to the west. From Lower Church Lane, located higher up, the top of the extension would be visible, although this view would not be prominent as it is from a significant distance away, and the church towers beyond would not be obscured. The extension would, however, be visible from church towers and taller buildings within the locality, including St John the Baptist Tower, as shown in the views analysis document. As shown by the views analysis, the extension is largely obscured from vantage points as a result of its position within the site, the narrowness of surrounding streets and the existence of taller buildings within the locality; although it would be visible from the access way and courtyard, surrounding taller buildings and church towers and a number of restricted vantage points.

The extension, although set back from the Broad and Small Street frontages, is of a significant mass and bulk. Although situated lower than the Broad Street tower, the roof level terrace and the top of the pavilion buildings are located 2.2m and 6m above the parapet wall of the Broad Street frontage. Given this, the extension fails to be subservient to the existing and surrounding Listed Buildings. It is acknowledged that views of the extension are restricted, but from where it can be seen the extension would appear dominant in respect of the application site and surrounding buildings. As such, it would result in harm to the significance of the City and Queen Square Conservation Area and the setting of adjacent Listed Buildings; although given the restricted nature of these views, this is considered to be less than substantial.

With regards to the details of the extension it was originally proposed to be primarily clad in bronzed anodised aluminium, but it was considered that this would have appeared too heavy and dominant, detracting from the Listed Building and the city scape. As a result of negotiations this has been changed to opaque glass panels. The elevations consist primarily of glazed panels and windows with a glazed balcony at roof level. This is contained within rectangular metal framed panels, comprising

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bronzed anodized fins, which gives the building a vertical emphasis consistent with the fenestration, rhythm and order of the elevations below. The most visible part of the extension is the elevation facing the internal courtyard and through route. This has columns of windows which largely follow the position of those below, the main difference of this elevation is that the windows comprise inset balconies with ceramic tiling either side, intended for the incorporation of public art. The tiling is proposed to be a subtle design and colouring, in order to be consistent with the subtle and lightweight characteristics of the glazed panels. Overall, being primarily glazed, the extension will appear as a lightweight addition to the building, and being glazed should have a transitional appearance reflecting the changing appearance of the sky. In addition, the illumination of its windows and the roof top terrace as well as its use, will add activity and visual interest to the roofscape of the old city. In terms of its mass, bulk and height above the existing roof levels, its lightweight and subtle appearance ensures that the impact on the application property and surrounding buildings is minimised as far as possible. Given this, and that the proposal will bring the important Listed Buildings within the site back into viable use, as well as contributing to the renaissance and regeneration of the old city, the identified harm to heritage assets is considered to be fully outweighed by these substantial public benefits. This extension is therefore acceptable on design and heritage grounds.

Small Street Extension:

A roof extension is proposed at the Small Street frontage to the right of the entrance tower. This has a slate pitched roof facing the street with 6 small dormer windows centrally aligned with the bays below, behind this it is flat roofed with a pitched roof at the rear. There is a corridor linking this extension to the main Guildhall extension. The alterations in the 1960s resulted in the construction of two new courtrooms and ground and first floor level behind the historic façade, and the introduction of an asphalt and slate clad mansard roof. The design and access statement contains an illustration of the building showing a pitched roof with four small dormer structures which are either windows or roof vents. The proposed extension seeks to relate to the original design with a slate clad pitched roof fronting the street and six new dormers centred on the existing six bays of fenestration below. The extension from the street would help to balance the overall elevation and being of a traditional style and detailing would preserve the building character and appearance.

Link Extension:

A glazed access link between the Guildhall and the Bank of England building is proposed within the through route and courtyard next to the Broad Street access. This is proposed to be fully glazed, with folding glazed doors that will be pinned back during day time hours. Being glazed, lightweight and fully openable during daytime hours it would not detract from the intention to re-create an historic route through the site, providing enhanced permeability and activity; and would not detract from the appearance of the adjacent buildings.

Bank of England:

A roof top extension is proposed at the rear of the Bank of England Building, providing a suite and extending the lift to roof level. This is of a traditional mansard roof design with slate tiles and timber dormer windows to match the existing roof. The end wall is stone and is positioned slightly set back from the existing chimney stack. The extension contains the lift overrun which protrudes through the central front part of the roof. The agent has advised that this is required to allow full accessibility to the top floor accommodation, and to reduce the strain on the original attic stair. It has been located within the least visible position, being partially obscured by the existing adjacent stone chimney, and being clad in slate to match the roof will result in minimal harm to the extensions appearance. Being of a traditional design consistent with the Bank of England's existing roof, the extension would relate appropriately to the character of the building and the area. The lift overrun is acceptable to make the building fully accessible given its careful design. To ensure that the original roof form can be read as distinct from the extension the stone wall will need to be contrasting in appearance, a sample of which will be reserved by condition. To address public realm improvements it is proposed to replace the paving to the Broad and Small street frontages with suitable traditional materials, which will be secured by condition.

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The proposal would result in less than substantial harm to the Conservation Area and setting of adjacent Listed Buildings; however this is outweighed by the substantial public benefits of bringing the site back into viable use, as well as contributing to the renaissance and regeneration of the old city. The proposal is therefore acceptable on design and heritage grounds.

(C) WHAT IMPACT WOULD THE PROPOSAL HAVE ON THE ARCHITECTURAL AND HISTORIC INTEREST OF THE GRADE II* LISTED BUILDING?

The site includes two distinct listed buildings the first is the Grade II* Guildhall, the special architectural and historic significance of this Grade II* heritage asset is derived from its highly decorative Victorian Gothic facades, internal decorative features associated with the mid-Victorian rebuilding, and any fabric that pre-dates the Victorian interventions - notably that which survives intact at basement level, or features that were moved or retained within the new building. Also of significance are the 20th century interventions that reflect the adaptation of the building to a court.

The second listed building is the Grade I Former Bank of England, the special interest of this architectural and historic significance of this building is derived from its exterior facades and the former banking hall and entrance hall. The historic and architectural associations of the building with the work of CR Cockerell and Bank of England make a positive contribution to the building's special interest. The twentieth century internal alterations to the building associated with its recent use as offices are considered to have had an adverse effect on the site's special interest.

Section 66(1) of the Listed Buildings Act provides: 'In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority' shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.' Section 12 of the national guidance within the National Planning Policy Framework (NPPF) 2012 states that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation, with any harm or loss requiring clear and convincing justification. Paragraph 132 of the NPPF states that significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting. Further it states that where a proposed development will lead to substantial harm or total loss of significance of a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss.

The key issue is the extent of change that the scheme will impose on the special interest of these Grade I and II* listed building and in particular on the outstanding quality of the external appearance of the buildings, and on the internal spaces. These being the former Banking Hall and Entrance Lobbies to the Bank of England and the Courts, together with their layouts and fittings. The development proposes major interventions in certain areas and will compromise significantly the building's special architectural and historic interest. On balance, the harm to this heritage asset, which is of the highest significance, is considered to be mitigated by the substantial benefit of bringing the site back into use.

The more significant interventions proposed are the roof additions to the two buildings, a single storey addition to the Bank of England and a two-storey extension to the Guildhall. It is recognised that such scale is necessary to bring these buildings back into use. The additions are designed with high quality materials constituting a 'light-weight' approach.

The changes proposed to the Guildhall at roof level are generally as agreed in principle during the assessment of the previous application 13/00834/LA. As before it is sited well back from the front, but the lift over-run position has now been amended through it remains subservient to the existing Broad Street tower.

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As in the case of the previous application the alterations to the Small Street roof involve the reinstatement of the original roof form, with the addition of six dormer windows. There will be some alteration to the current layout and removal of fabric as there is a need to create three storeys where two currently exist. Although some evidence for a suspected original three storeys cannot be proven, the need to create additional bedrooms to make the hotel use viable is used as justification. By creating more rooms at this level, it enables the retention of some larger spaces on the Ground Floor. The upper storeys are currently heavily subdivided and partitioned and have undergone major fabric changes in the past.

The restoration of the Broad Street tower to its full triple-height and reinstatement of the original roof profile on the Small Street frontage represent a significant public benefit and will enhance the appearance of the building when perceived from outside the application site.

The buildings are within the Old City, a neighbourhood that is in need of investment and regeneration. The Former Bank despite being in active use until recently has suffered a lack of investment in maintenance and a series of ill-considered internal alterations during the course of the twentieth century. The Guildhall has had no permanent use since being vacated by the courts. Since that time the fabric has significantly declined; there is water ingress at roof level and a general issue of damp throughout. The buildings are currently not 'At Risk', though if they remained empty it would likely be added to the BCC Register before 2016. Finding a sustainable, long-term use for the buildings is a major consideration when considering the current listed building application. The loss of the original and secondary use therefore has to be accepted and the need to find a new use for the building has become a primary consideration. This is in line with the Core Strategy target to ensure a reduction in heritage assets at risk on either national or Bristol registers.

(D) WOULD THE PROPOSED DEVELOPMENT PRESERVE THE LISTED BUILDING OR ITS SETTING OR ANY FEATURES OF SPECIAL ARCHITECTURAL OR HISTORIC INTEREST WHICH IT POSSESSES?

The principle of securing new viable uses for this collection of listed buildings is welcomed. The key factor in developing the scheme is in understanding the significance of the heritage asset, (and their impact upon existing surrounding assets) as per the requirements of the NPPF and the National Planning Policy Planning Practice Guidance.

The current scheme adequately demonstrates the necessity for the demolition and rebuilding of the second floor of the Guildhall's Broad Street range in accordance with sections 132 and 133 of the NPPF.

The Small Street frontage is considered to have a high degree of architectural and historic value. The alterations proposed to the fenestration pattern involve the lowering of four of the cills. This approach will create a more active frontage on this elevation as well as provide the light and space required for the internal layout. The final detailing and material treatment to the fenestration will be determined via condition. Broadly, however, the loss of fabric and the alteration to the building frontage is considered justified.

The removal of the furnishings in the Guildhall and Nisi Prius Courts which are of some merit is another contentious element of the application. The application, however, details the intention to retain in situ or re-use in other locations some of some elements of the furniture. A fuller record of the current arrangement and details of where furniture will be reused will be conditioned with a detailed photographic record prior to removal, including the traces of any graffiti (see conditions below). By bringing the building into use as a hotel, the courtroom furniture will be appreciated by a wider audience, and a full interpretation strategy to maximise public access has been conditioned.

For the most part this application retains much of the historic fabric of the Guildhall removing those elements that were inserted post 1960 and are generally unsympathetic to the building. The exception

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is the removal and rebuilding of the second floor of the Broad Street range, largely 1960s in date with a 1 m demolition of c. 1940s fabric below. There is evidence to suggest the entire wall was rebuilt or substantially reinforced in the mid to late 20th century. Although a major intervention on fabric, this element of the scheme has the benefit of enabling the creation of an additional storey and means the final height of the roof extension has been lowered by 1.5 metres. Aesthetically, the external appearance of the range will be reinstated with windows either re-used or replaced like-for-like. The current cement render façade will be replaced with a lime render. The retention of the passage link and its opening up for use as a café seating area also represents a conservation gain. The external space will be enhanced for public enjoyment and the legibility of this part of the building retained.

Alteration to the 1960s courtroom represents a significant loss of fabric and alteration on the current layout of the building though the restoration of the Broad Street tower to its full triple-height represents a significant public benefit and will enhance the appearance of the building when perceived on entry from Broad Street. Internally, the Guildhall has been heavily compromised by previous alterations; the building's previous use as courtrooms has provided a layout which does not lend its present configuration to any alternative use beyond its sui generis status.

In reference to the Proposed Changes to the Former Bank of England in comparison to the works proposed to the adjacent Guildhall the works are less invasive. The proposal for the most part works with the existing fabric of the building and better reveals the form of the original building via the removal of late twentieth century material associated with the recent office use.

The proposed installation of the corridor and mezzanine over within the former Banking Hall is considered to cause a degree of harm to the internal volume of the space. On balance the degree of harm caused is considered to be less than substantial in view of the restorative benefits offered via the removal of the existing partition walls in this location. As per the requirements of sections 132 and 134 of the NPPF the Council has been now been provided with sufficient justification for these works. It should be noted that the proposed corridor and mezzanine have been carefully designed to allow a full sense of the original volume of the space to be appreciated.

The proposed construction of an additional storey accommodation to the rear of the Former Bank of England is not considered to have a negative effect on the roofscape of the existing building, the negative impact being the manner in which the proposed addition would detract from the perception of the existing chimneys as free standing structures. This degree of harm caused is considered less than substantial. As such, samples of the material of the wall will be reserved by condition to ensure that it reads as a distinct feature from the existing chimney stack.

As with any historic building in such an archaeologically sensitive area future building works have the potential to uncover intact medieval stratification and possible medieval vaults of hitherto unknown medieval cellars. Archaeological exploratory works will be taken into account when designing the construction methodology, the final layouts will accommodate the need for in situ preservation of any important archaeological features that predate the 19th century Former Bank of England, Assize Courts and Guildhall.

Conclusion:

The best use will very often be that for which the building was originally intended. Both buildings have lost their primary and secondary uses. In reference to the Guildhall, the town guild and assize became redundant in the late 19th century, and the secondary use as a courts came to an end in the early 21st. The most recent use has left a legacy that to a large extent undermines the special interest of the Grade II* listed building and a layout which does not lend itself to any use beyond its previous use as law courts. In reference to the Bank of England Building the original Banking Use ceased in the 1960's and since that date the building has been used as office space. The constraints of the existing building are not compatible with the requirements of office accommodation in the 21st century. Consequently there is a need to secure a use to safeguard the future of this Grade I building.

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As a vacant buildings, the heritage assets are at risk from an ongoing and increased material deterioration as well as lacking an active use that can provided much needed vitality to the City and Queen Square Conservation Area.

The proposed works to the Grade II* listed building are extensive, involving significant change to the internal layout as well as external extension and alteration. The Changes to the Grade I listed Former bank are on the whole less invasive in comparison. However, in accordance with NPPF (Section 12 Para 133), it has been concluded on balance that the substantial harm and, in part, total loss of significance of the heritage assets has been outweighed by the benefit of bringing the site back into use. Furthermore, there will be increased public access as well as the reinstatement of some of the original features and internal spaces, which will represent a substantial benefit to the building.

(E) WOULD THE PROPOSAL ADEQUATLY ADDRESS THE LOSS OF COMMUNITY FACILITIES WITHIN THE SITE?

Policy BCS2 concerns 'Community Facilities'. This states that 'Existing community facilities should be retained, unless it can be demonstrated that there is no longer a need to retain the use or where alternative provision is made.' The supporting text clarifies that the term Community Facilities is wide-ranging and can include education establishments, training centres and civic and administrative facilities.' In addition that: 'Existing community facilities can be vulnerable to proposals for new uses or redevelopment. In such cases the Council will need to assess the loss in terms of the social, economic and physical impact on the local community and the harm caused to the level of community provision in the area. Policy DM5 expands upon this policy and is entitled 'Protection of Community Facilities'. This states that proposals involving the loss of community facilities land or buildings will not be permitted unless it is demonstrated that one or more of four criteria apply. This includes that appropriate replacement community facilities are provided in a suitable alternative location.

12 Broad Street is currently occupied by the Citizens Advice Bureaux (CAB) and the first and second floors of 12A Broad Street is occupied by Western Tutorial College (WTC). The CAB being civic and administrative facilities is a Community Facility as defined by the above policy. The WTC is a training centre specialising in A-Level and GCSE tuition and therefore also falls within the definition if community facilities. As these facilities would be displaced by the proposed hotel use these policies need to be addressed. The agent has indicated that an agreement has been reached to finance re-housing the CAB, to a newly refurbished premises in nearby Fairfax Street. It is the client's position that the private tutorial college that currently occupies the remaining portion of the Bank of England building are not 'community facilities', but private commercial ventures. The applicant is continuing discussions with the holders of the lease with a view to successfully negotiating an agreeable acquisition. The relocation of the CAB to a new location will address the Local Plan policies outline above. The tutorial college although a private facility falls within the broad definition of community facilities. Although supporting information has not been provided in support of the loss of this facility, it is recognised that this represents a small part of the site and that overall this scheme achieves the sustainable re-use of two important listed buildings and contributes to the renaissance and enhancement of the Old City. Given this, and that the loss of the larger community facility that has been addressed by their relocation, the loss of community facilities within the site is considered acceptable.

(F) WOULD THE PROPSOAL ADEQUATELY ADDRESS ISSUES OF CLIMATE CHANGE, SUSTAINABILITY, FLOODING AND DRAINAGAGE?

Policies BCS13-15 of Core Strategy concern climate change and sustainable design, energy and construction. The policies require development to contribute to both mitigating and adapting to climate change, and to meeting targets to reduce carbon dioxide emissions. They require development in Bristol to include measures to reduce carbon dioxide emissions from energy use and to provide sufficient renewable energy generation to reduce carbon dioxide emissions from residual energy use in the building by at least 20%. Sustainable design and construction is required to be

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integral to new development. For major development the sustainability statement should include a BREEAM assessment. BCAP20 of the Bristol Central Area Plan concerns Sustainable Design Standards. This policy complements BCS15 by setting specific scaled standards against BREEAM for development within Bristol City Centre. The policy states that non-residential development of 1,000sqm or greater (Major development) should achieve a BREEAM rating level of excellent. It is advised that the assessment of major development against national sustainability methodologies will ensure that development engages thoroughly with issues of sustainable design and construction. Policy BCAP21 concerns the connection of developments to heat networks. The policy states that proposals for development that would require heating will be expected to demonstrate that account has been taken of potential opportunities to source heat from adjoining development or nearby heating networks. In addition, proposals that would generate waste heat will be encouraged to incorporate infrastructure to capture its waste heat for reuse and/or to supply existing or future heat networks in the area.

Policy BCS16 concerns Flood Risk and Water Management and states that: 'All development will also be expected to incorporate water management measures to reduce surface run-off and ensure that it does not increase flood risks elsewhere. This should include the use of sustainable drainage systems (SUDS).

The submitted BREEAM report demonstrates that, in principle, an Excellent rating level can be achieved. However, it is detailed that due to the historical setting and the listed status of the building it may not be possible to achieve the mandatory credits due to limitations placed upon the level of fabric, structural and façade improvements that can be carried out without affecting the historical and listed status of the buildings concerned; and that this will be determined at the detailed design stage. If it is not possible to meet the required credits a BREEAM rating of Very Good will be achieved. As BCAP20 requires an Excellent rating, a Very Good score will only be accepted if it is fully demonstrated that the highest rating cannot be achieved as a result of heritage constraints. The required BREEAM level of Excellent will be secured by means of condition.

With regards to energy efficiency measures and renewables the proposed scheme provides gas fired Combined Heat and Power (CHP) providing the base loading for heating, hot water and pool heating. Heating and cooling to the bedrooms and most of the public areas is to be provided by Air Source Heat Pumps, which the agent has determined to be the most suitable renewable technology for the site. This renewable technology achieves a 5% saving on residual emissions. It is advised that the only other renewable technology that could be utilised with the site is photovoltaics (PV), but that there are relatively few areas of new usable roof, and that most of the existing roofs are unsuitable for the support and installation of new PV panels. The agent has agreed to reconsider the suitability of the new flat roof to the Small Street extension and the roof top pavilion buildings for the installation of flat PV panels, to potentially increase the renewables provision. The outcome of this will be reported to the committee. The agent has addressed the requirements of BCAP21 to allow for a connection into a district heating system if developed in the future, which will be connected via the Broad Street frontage directly into the basement area and secured by condition. With regards to flood risk issues the site is currently developed and contains no permeable surfaces, as such, it is not possible to incorporate any sustainable drainage systems. On the basis of the above, and subject to the outcomes of this review concerning PV, the proposal is considered to adequately address issues of climate change, sustainable energy and design, as well as flooding and drainage issues.

(G) WOULD THE PROPOSAL DETRACT FROM THE AMENITY OF SURROUNDING PROPERTIES?

Policy BCS21 concerns Quality Urban Design stating that new development in Bristol should deliver high quality urban design. With regards to amenity it specifies that development in Bristol will be expected to safeguard the amenity of existing development and create a high-quality environment for future occupiers. DM30 concerns alterations to existing buildings and states that extensions and alterations will be expected to safeguard the amenity of the host premises and neighbouring

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occupiers. Policy BCS23 states that development should be sited and designed in a way as to avoid adversely impacting upon the environmental amenity of the surrounding area by reason of noise. Policy DM35 concerns Noise Mitigation, and requires that development which would have an unacceptable impact on environmental amenity by reason of noise will be expected to provide an appropriate scheme of mitigation.

Objections have been received from the owners/occupiers of neighbouring residential properties on Broad Street and surrounding commercial properties concerning potential noise and disturbance from the proposed use, which includes a restaurant and bar accessed from the Broad Street frontage and function and conference facilities accessed from the other side of the building on Small Street. The site falls within the city centre and there are a number of bar, restaurant and nightclub uses within the vicinity of the site. Given this, background noise levels during the day and night are likely to be relatively high. The proposed uses are, therefore, considered to be entirely suitable for this location and it is not considered that they would result in unacceptable noise disturbance to local residents.

The buildings surrounding the site where the main two storey extension is proposed are in office use. The Albion chambers is immediately adjacent, but is lit by windows facing into an internal courtyard on the opposite side to the Guildhall. Furthermore, the surrounding commercial properties will be largely reliant on artificial lighting. The development proposal includes Guildhall Chambers annex which adjoins 24 Broad Street at ground and first floor levels, which faces onto a courtyard between the site and office accommodation within no. 24. Given that this accommodation consists of suites, it is considered that the amenity of the adjacent office accommodation and associated courtyard would not be detrimentally affected. The proposed access way and courtyard being located between the Guildhall and Albion Chambers would be screened from the surrounding residential properties. As Albion Chambers backs onto this area and has windows facing away from site towards a private courtyard, the amenity of this premises would also not be affected by its use.

There are residential flats located within the upper floors of the properties on the opposite side of Broad Street, and within the upper floors of buildings to the west of the site on Broad Street. Three objections have been received from the owners/occupiers of residential flats within the upper floors of the buildings opposite on Broad Street. They have raised concerns about noise, disturbance, overlooking/loss of privacy and loss of light/overshadowing from the development, particularly the roof top terrace and pool. The submitted section drawing showing the relationship of the proposed development with 41 Broad Street shows that the properties opposite are lower than the current Guildhall building and significantly below the level of the proposed roof terrace and pool. In addition, that the extension and roof terrace is located 6.5m behind the Broad Street frontage. This drawing shows that there is visibility between the first and second floors of the existing Guildhall building and 41 Broad Street; and that there would be some limited visibility, again at an angle, between the second floor of the extension and the dormer windows of 41 Broad Street. With regards to the existing building, this visibility is existing and across a public street; and it is considered that the hotel use would have no greater impact upon the amenities of the properties opposite than the previous use as law courts. The visibility between the fourth floor dormer window and the extension is at an angle and over a distance of 19.5m, providing adequate separation distance within a dense city centre location; this would also apply to the other dwellings opposite. Private roof terraces for associated rooms are proposed at third floor level either side of the Broad Street tower and at the western side of the extension. The terraces either side of the tower would have views down on the opposite side of the street, but any views towards the windows opposite would be at an oblique angle. Given this, and that the terraces are of a private nature, their use would not be harmful to the amenity of adjacent residents.

With regards to the roof terrace, the section drawing shows that the only potential overlooking of 41 Broad Street would be to the fourth floor dormer windows, at a significantly oblique angle over a distance of 21metres. In addition, the use of the terrace is restricted by the proposed pavilion structures and pool, with the main terrace areas being located behind the Broad Street tower and at the rear of the terrace. Given this, the proposed terrace would not result in overlooking or loss of

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privacy to the residential properties of 41 Broad Street, which equally applies to the other dwellings opposite. However, it is recognised that its use has the potential for some noise disturbance to properties opposite. To address this, a management plan for the use of the terrace will be reserved by condition. Turning to light, Broad Street is relatively narrow with building built right up to the back of the pavement, therefore, light to the habitable windows of flats will currently be restricted. As the extension is set 6.5m back from the frontage behind Broad Street tower, it will not result in a demonstrable loss of light to the properties opposite. On the basis of the above, it is concluded that the proposal would not detract from the amenities of surrounding properties and it complies with policies BCS21, BCS23, DM30 and DM35.

(H) WOULD THE PROPOSAL MITIGATE FOR EXISTING BACKGROUND NOISE LEVELS OR DETRIMENTALLY AFFECT THE FUNCTION OR AMENITY OF SURROUNDING PROPERTIES?

Policy BCS23 states that development should be sited and designed in a way as to avoid adversely impacting upon the environmental amenity of the surrounding area by reason of noise; and in locating and designing development, account should also be taken of the impact of existing sources of noise or other pollution on the new development; and the impact of the new development on the viability of existing uses by reason of its sensitivity to noise or other pollution. Policy DM35 concerns Noise Mitigation, and requires that noise-sensitive development in locations likely to be affected by existing sources of noise will be expected to provide an appropriate scheme of mitigation to ensure adequate levels of amenity for future occupiers of the proposed development.

The site is surrounded by a mixed range of uses, although the site itself mostly adjoins office accommodation, including Albion Chambers and Fosters Chambers to the east and west respectively. Immediately opposite on Broad Street there are café, bar and retail uses, with mostly residential flats at the upper levels. The Thistle Hotel is also located on the opposite side of this street. Located adjacent on Small Street there are retail, bar, café/restaurant and night club uses. The crown court, office accommodation and a bar are located on the opposite side of Small Street. Pollution Control has raised noise issues concerning licenced premises within the area. This is in respect of music breakout noise and noise from customers who congregate outside these premises to smoke.

The agent advises the following in respect of 'Acoustics': 'The primary challenge of this busy city centre site is the ingress of air borne noise pollution from surrounding late night leisure uses. The existing single glazed windows of the Broad Street and Small Street facades are not well suited to secondary glazing, due to the decorative tracery heads and internally chamfered sills and jambs. The scheme proposes the installation of acoustic curtains to all bedrooms with windows overlooking Broad Street and Small Street, to improve the acoustic comfort of these rooms. Pollution Control has commented that as the building is listed, it is understood that there are likely to be issues with any improvement to the glazing of some of the existing windows, but that they have concerns about future residents of the hotel being disturbed by noise from people in the street, particularly on a Friday and Saturday night and noise from licensed premises within the locality.

The site is within a busy city centre location, where there is a range of late night uses and high background noise levels. The applicant recognises this and intends to mitigate for the noise as far as practicably possible. This will be restricted for the Broad Street and Small Street facades for the reasons outlined above. However, measures can be adopted such as acoustic curtains and secondary ventilation to mitigate the impact as far as possible. Noise within the centre of the site and at upper levels will be significantly less, and most of the elements not facing on to the streets either side as well as the new build elements will be fully mitigated against background noise levels. Therefore, the majority of rooms will incorporate a high standard of noise mitigation measures, and those rooms on the main frontages with heritage constraints will be mitigated as far as possible. It is considered that this strikes the right balance in providing a high quality hotel of significant benefit to

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the old city and city centre whilst mitigating for the impact on existing late night leisure and entertainment uses within the locality. The proposal is therefore considered acceptable on this key issue.

(I) WOULD THE PROPOSAL BE ACCEPTABLE ON TRANSPORT GROUNDS?

Policy BCAP26 of the Bristol Central Area Plan (March 2015) concerns the 'Old City - Reducing traffic in the heart of Bristol City Centre.' The policy specifies that: 'Development in the Old City neighborhood will be encouraged and acceptable where it would not increase the levels of general traffic entering the neighborhood.' The supporting text expands upon this specifying that: 'In support of continued regeneration in the Old City, the purpose of policy BCAP26 is not to restrain development, but to encourage development solutions that do not bring inappropriate levels of traffic into the historic city core'. In locations where access is only available from streets that have been pedestrianised or have been identified for pedestrianisation it may be more appropriate to proceed with car-free or mostly car-free forms of development.

The site, being located within the city centre, is in a sustainable location, within close proximity to main bus routes, the Bristol Metro bus route (currently being constructed) and a wide range of public car parks. The site is also accessible by walking and bus from Temple Meads Station. Subject to the provision of a Travel Plan to encourage guests and staff to use sustainable modes of transport, the use is entirely appropriate in this sustainable and accessible location. The required cycle parking provision will be secured by condition. The general traffic and construction traffic issues raised in response to the public consultation will be addressed by means of Construction Management Plan and delivery hours conditions. On this basis and subject to the conditions recommended by Transport Development Management the application is acceptable on transport grounds.

CONCLUSION

The proposal is for a high quality hotel with a wide range of facilities which will be of significant benefit to the tourism, entertainment and leisure offer of the city. The scheme is of a very high standard, restoring and preserving the architectural and historical significance of the Listed Buildings, whilst minimising the impact on the Listed Building and Conservation Area. It is acknowledged that the proposal has been identified as resulting in harm to the Listed Building and Conservation Area. However, this is fully mitigated by the substantial public benefits of bringing the buildings back into use, increasing public access to the site, as well as reinstating original features and internal spaces. Furthermore, it is considered that the proposal will significantly contribute to the renaissance and regeneration of the Old City.

The planning application and listed building application are both recommended for approval, subject to conditions.

APPLICATION (A) - 15/03532/F

RECOMMENDED GRANT subject to condition(s)

Time limit for commencement of development**1. Full Planning Permission**

The development hereby permitted shall begin before the expiration of three years from the date of this permission.

Reason: As required by Section 91 of the Town and Country Planning Act 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

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2. Sample Panels before specified elements started

Sample panels of the following demonstrating the colour, texture, face bond and pointing (if relevant) are to be erected on site and approved in writing by the Local Planning Authority before the relevant parts of the work are commenced. The development shall be completed in accordance with the approved samples before the building is occupied.

- a) The obscure glazed panels for the two storey Guildhall roof extension, including the colouring and bronzed aluminium frame,
- b) New stone work,
- c) Render finishes,
- d) Roof slates (Small Street and Bank of England roof extensions)

Reason: In order that the external appearance of the building is acceptable in the context of the Listed Building(s) and City and Queen Square Conservation Area.

3. Prior to the commencement of development (unless otherwise agreed in writing by the Local Planning Authority), full details of the combined landscaping and public art scheme for the access way and courtyard, shall be submitted and approved in writing by the Local Planning Authority. The scheme shall be completed prior to the commencement of the hotel use and retained and maintained at all times thereafter.

Reason: To ensure that the scheme adequately incorporates public art and to safeguard the special interest of the listed building and the City and Queen Square Conservation Area.

4. Prior to the relevant element commencing, details and elevational drawings at a scale of 1:5 of the ceramic tiling to the inset balconies within the north east elevation of the two storey Guildhall extension, shall be submitted and approved in writing by the Local Planning Authority. The submitted details shall outline the artists involvement and contribution to their design. The tiling shall be provided in accordance with the approved details prior to the hotel use commencing and retained at all times thereafter.

Reason: To ensure that the scheme adequately incorporates public art and to safeguard the special interest of the listed building and the City and Queen Square Conservation Area.

5. To ensure implementation of a programme of archaeological works.

No development shall take place until the applicant/developer has secured the implementation of a programme of archaeological work, in accordance with a Written Scheme of Investigation (WSI) that has been submitted by the developer and approved in writing by the Local Planning Authority. A separate WSI will be required for each phase of work if relevant (evaluation/ground investigation/initial structural investigation works; building recording works; further excavation, if required; archaeological watching brief).

The scheme of investigation shall include an assessment of significance and research questions; and:

1. The programme and methodology of site investigation and recording
2. The programme for post investigation assessment
3. Provision to be made for analysis of the site investigation and recording
4. Provision to be made for publication and dissemination of the analysis and records of the site investigation
5. Provision to be made for archive deposition of the analysis and records of the site investigation

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6. Nomination of a competent person or persons/organisation to undertake the works set out within the Written Scheme of Investigation.

Reason: To ensure that archaeological remains and features are recorded prior to their destruction.

6. To ensure the preservation of significant structures predating the 19th century Guildhall and Assize Courts

Notwithstanding the approved drawings, no work on site (including site clearance) shall take place until a design that preserves features and structures of high significance, predating the 19th Century Guildhall and Assize Court (as revealed following previous and future archaeological investigation), has been submitted and approved in writing by the Local Planning Authority. The development shall only be undertaken in accordance with the approved design/work schedule/strategy.

Reason: To ensure the preservation of features of high significance predating the 19th Century Guildhall and Assize Court.

7. To ensure the preservation of significant structures predating the 19th century Guildhall and Assize Courts

Notwithstanding the approved drawings, and before commencement of the relevant works, a revised scheme for new structural supports at all levels, informed by an archaeological investigation secured by condition 5 shall be submitted and approved in writing by the Local Planning Authority. The relevant works shall only be carried out in accordance with the approved details.

Reason: To ensure that important archaeological remains, below and above ground are preserved in situ.

8. Noise Sensitive Premises Assessment

No development shall take place until a detailed acoustic report on the existing noise climate at the development site has been submitted to and been approved in writing by the Local Planning Authority.

The report shall include a scheme of noise insulation measures for all residential accommodation. The noise insulation measures shall be designed to achieve noise insulation to a standard that nuisance will not be caused to the occupiers of residential accommodation by noise from the following:-

- Music noise from licensed premises in the area and noise from customers outside
- Traffic and street noise

The noise assessment shall be carried out by a suitably qualified acoustic consultant/engineer and shall take into account the provisions of BS 8233: 1999 Sound Insulation and Noise Insulation for Buildings - Code of Practice.

The approved scheme shall be implemented prior to the commencement of the use and be permanently maintained thereafter.

Reason: In order to safeguard the amenities of nearby occupiers. The details are needed prior to the start of work as the acoustic report may require changes to the design details.

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9. Details of Extract/Ventilation System - Not Shown

No development shall take place until details of the means of ventilation for the extraction and dispersal of cooking smells/fumes, including details of its method of construction, odour control measures, noise levels, its appearance and finish have been submitted to and been approved in writing by the Local Planning Authority. The approved scheme shall be installed before the use hereby permitted commences and thereafter shall be permanently retained.

Reason: These details need careful consideration and formal approval and to safeguard the amenity of adjoining properties and to protect the general environment. The details are needed prior to the start of work so that measures can be incorporated into the build.

10. Outdoor Area Management Plan

Prior to the use as a hotel commencing, an Outdoor Area Management Plan relating to the roof terrace and pool shall be submitted and approved in writing by the Local Planning Authority. The Outdoor Area Management Plan shall set out details of the times that these areas will be available for use, numbers of people that will use these areas at any one time, restrictions on playing amplified music, and how these areas will be managed and supervised. The approved Outdoor Area Management Plan shall be agreed and in place before these areas are first used and then complied with throughout the duration of the use at all times thereafter.

Reason: In the interests of protecting residential amenity.

11. To secure the appropriate removal and re-use of furniture and features of historic or architectural importance

No development of the former Guildhall, Assize Courts or Bank of England shall take place until a method statement, detailing the removal, re-use or repair of any furniture associated with the courtrooms or any other features, including fireplaces, identified for relocation in the Design and Access Statement, has been submitted and approved in writing by the Local Planning Authority. The development shall be carried out in full accordance with the approved method statement.

Reason: To ensure that alterations to the listed building have a minimal impact on its special interest.

12. To ensure a suitable foundation design to preserve archaeological features has been secured

No development shall take place until a detailed design for the foundations, piling configuration, drainage and services together with a method statement for their construction has been submitted and approved in writing by the Local Planning Authority. The development shall only take place in accordance with the approved detailed scheme.

Reason: To ensure the preservation in situ of archaeological features of identified importance.

13. Site Specific Construction Environmental Management Plan

No development shall take place until a site specific Construction Environmental Management Plan has been submitted to and been approved in writing by the Local Planning Authority. The Construction Environmental Management Plan must demonstrate the adoption and use of the best practicable means to reduce the effects of noise, vibration, dust and site lighting. The plan should include, but not be limited to:

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1. Parking of construction vehicles, site operatives and visitors.
2. Routes of construction traffic.
3. Hours of construction/workings and the procedures for emergency deviation of the agreed working hours.
4. Method of prevention of mud and debris being carried onto the public highway.
5. Pedestrian and cyclist protection.
6. Procedures for maintaining good public relations including complaint management, public consultation and liaison
7. Arrangements for liaison with the Council's Pollution Control Team
8. Hours and strategy for deliveries to the site and the removal of plant, equipment, machinery and waste from the site.
9. Mitigation measures as defined in BS 5528: Parts 1 and 2 : 2009 Noise and Vibration Control on Construction and Open Sites shall be used to minimise noise disturbance from construction works.
10. The control measures for dust and other air-borne pollutants.
11. The measures for controlling the use of site lighting whether required for safe working or for security purposes.

Reason: In the interests of the amenities of surrounding occupiers and the safe operation of the highway during the construction of the development.

14. Further details of the following before relevant element started

Detailed sectional and elevational drawings at the scale of 1:10 (unless otherwise specified) of the following shall be submitted to and be approved in writing by the Local Planning Authority before the relevant part of work is begun. The detail thereby approved shall be carried out in accordance with that approval.

- a) The two storey Guildhall roof extension, including the rebuilt third storey south east elevation;
- b) A section of the aluminium framing, external cladding and inset balconies (1:5 scale).
- c) The Small Street roof extension, including parapets, gutters, ridge and eaves;
- d) The dormer windows to the Small Street roof extension (1:5 scale);
- e) The corridor connecting the Small Street roof extension into the Guildhall;
- f) The roof extension to the Bank of England building;
- g) The dormer windows to the Ban of England Building (1:5 scale);
- h) Proposed alteration of the Small Street windows;
- i) All new windows and external door openings
- j) Proposed alteration of the Small Street windows;
- k) Door entry and other security systems to be applied to the exterior of the building
- l) All new mechanical, electrical (M&E), and other services including internal routing and external terminals, lift shafts, risers, ducts and implications to the existing building fabric
- m) All new drainage services including pipe work runs
- n) All new mains service runs including gas, electricity and water including any external meter boxes

Reason: In the interests of visual amenity and the character of the area.

15. Prior to the commencement of development and notwithstanding the submitted drawings, plan, elevational and sectional drawings at a scale of 1:10 of the proposed new corridor with mezzanine accommodation above shall be submitted and approved in writing by the Local Planning Authority. The relevant works shall be completed in accordance with the approved details before the hotel use commences.

Reason: To safeguard the special interest of the Grade I listed Bank of England Building.

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16. Prior to the hotel use commencing, the historic fireplace within the Guildhall Chambers shall be restored and relocated within the restaurant/bar area in accordance with a method statement (that includes details of when the historic fireplace is relocated) that shall be submitted and approved in writing by the Local Planning Authority.

Reason: To safeguard the features of the Grade II* listed Guildhall building.

17. BREEAM

No development shall take place until evidence that the development is registered with a BREEAM certification body and a pre-assessment report (or design stage certificate with interim rating if available) has been submitted indicating that the development can achieve the stipulated final BREEAM level. No building shall be occupied until a final Certificate has been issued certifying that BREEAM (or any such equivalent national measure of sustainable building which replaces that scheme) rating Excellent (unless otherwise agreed in writing by the Local Planning Authority); has been achieved for this development unless the Local Planning Authority agrees in writing to an extension of the period by which a Certificate is issued.

Reason: To ensure that the development achieves BREEAM rating level Excellent (or any such equivalent national measure of sustainability for building design which replaces that scheme) and that this is done early enough in the process to allow adaptations to designs and assessment and certification shall be carried out by a licensed BREEAM assessor and to ensure that the development contributes to mitigating and adapting to climate change and to meeting targets to reduce carbon dioxide emissions.

18. Prior to the commencement of any construction works, details (including the exact location, dimensions, design/ technical specification/ capacity and method of fixing and all connections relating to the air source heat pumps and district heating system equipment shall be submitted and agreed in writing by the Local Planning Authority. The approved equipment shall be installed and operational (or in the case of District Heating connection ready to be operational) prior to the first occupation of the hotel use, and retained as operational thereafter in perpetuity.

Reason: To ensure that the development contributes to mitigating and adapting to climate change and to meeting targets to reduce carbon dioxide emissions and to ensure the development can link up to a future district heating system.

Pre occupation condition(s)

19. Approval of road works

The hotel use shall not commence until details of the highway (pavement) works set out in the application submission have been submitted and approved in writing by the Local Planning Authority. The approved works shall then be completed in accordance with the approved detailed drawings, to the satisfaction, in writing, of the Local Planning Authority, prior to the hotel use commencing. Once completed, the works shall be retained at all times thereafter.

Reason: In the interests of highway safety and to ensure that all road works associated with the proposed development are to a standard approved by the Local Planning Authority and are completed before the hotel use commences.

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20. Prior to the use of the hotel commencing, details of any new external lighting shall be submitted and approved in writing by the Local Planning Authority. The external lighting shall be implemented in accordance with the approved details prior to the use commencing and maintained and retained at all times thereafter.

21. Travel Plan

Within 6 months of the hotel use commencing, a Travel Plan comprising immediate, continuing and long-term measures to promote and encourage alternatives to single-occupancy car use for staff and visitors has been submitted and approved in writing by the Local Planning Authority. The approved Travel Plan shall then be implemented, monitored and reviewed in accordance with the agreed Travel Plan targets to the satisfaction of the Local Planning Authority.

Reason: In order to deliver sustainable transport objectives including a reduction in single occupancy car journeys and the increased use of public transport, walking and cycling for staff and visitors.

22. Completion and Maintenance of Cycle Provision

Prior to the hotel use commencing, plans showing covered and secure cycle parking area(s) that provide a minimum of 9 cycle spaces shall be submitted and approved in writing by the Planning Authority. The approved cycle parking area(s) shall be completed before the use commences and shall not be used other than for the parking of bicycles in connection with the development and retained and maintained at all times thereafter.

Reason: To ensure the provision and availability of adequate secure and weather-proof cycle parking.

23. To secure the conduct of a watching brief during development groundworks

The applicant/developer shall ensure that all groundworks, including geotechnical works, are monitored and recorded by an archaeologist or an archaeological organisation to be approved by the council and in accordance with the Written Scheme of Investigation approved under condition 5.

Reason: To record remains of archaeological interest before destruction.

24. Waste Management Plan

The hotel use hereby permitted shall not commence until a Waste Management Plan has been submitted and approved in writing, by the Local Planning Authority. The Waste Management Plan shall establish the operational procedure for the storage and collection of all waste and recycling waste generated by the hotel. The approved Waste Management Plan shall be complied with throughout the duration of the use.

Reason: To safeguard the amenity of the occupiers of adjoining premises, protect the general environment, and prevent obstruction to pedestrian movement, and to ensure that there are adequate facilities for the storage and recycling of recoverable materials.

25. Implementation/Installation of Refuse Storage and Recycling Facilities - Shown on approved plans

No building or use hereby permitted shall be occupied or the use commenced until the refuse store, and area/facilities allocated for storing of recyclable materials, as shown on the

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approved plans have been completed in accordance with the approved plans. Thereafter, all refuse and recyclable materials associated with the development shall either be stored within this dedicated store/area, as shown on the approved plans, or internally within the building(s) that form part of the application site. No refuse or recycling material shall be stored or placed for collection on the public highway or pavement.

Reason: To safeguard the amenity of the occupiers of adjoining premises, protect the general environment, and prevent obstruction to pedestrian movement, and to ensure that there are adequate facilities for the storage and recycling of recoverable materials.

26. A scheme of hard and soft landscaping for the roof terrace shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be implemented so that planting can be carried out during the first planting season following the commencement of the hotel use or the completion of the development, whichever is the sooner. All planted materials shall be maintained for five years and any trees or plants removed, dying, being severely damaged or becoming seriously diseased within 5 years of planting shall be replaced with others of similar size and species to those originally required to be planted.

Reason: To preserve the special interest of the Listed Building and the character and appearance of the City and Queen Square Conservation Area.

Post occupation management

27. Restriction of noise from plant and equipment

The rating level of any noise generated by plant & equipment as part of the development shall be at least 5 dB below the background level as determined by BS4142: 1997- "Method of rating industrial noise affecting mixed residential and industrial areas".

Reason: To safeguard the amenity of nearby premises and the area generally.

List of approved plans

28. List of approved plans and drawings

The development shall conform in all aspects with the plans and details shown in the application as listed below, unless variations are agreed by the Local Planning Authority in order to discharge other conditions attached to this decision.

P/002 T Proposed ground floor plan, received 27 July 2015
 P/003 R Proposed basement floor plan, received 1 October 2015
 P/004 V Proposed First floor plan, received 27 July 2015
 P/005 U Proposed Second floor plan, received 27 July 2015
 P/006 U Proposed Third floor plan, received 27 July 2015
 P/007 U Proposed Fourth floor plan, received 27 July 2015
 P/008 N Proposed Fifth floor plan, received 27 July 2015
 P/009 B Proposed roof plan, received 8 July 2015
 P/012 E Proposed ground floor plan, received 1 October 2015
 P/013 D Proposed basement plan, received 27 July 2015
 P/014 D Proposed first floor plan, received 27 July 2015
 P/015 D Proposed Second floor plan, received 27 July 2015
 P/016 E Proposed Third floor plan, received 1 October 2015
 P/017 B Proposed fourth floor plan, received 27 July 2015
 P/101 A Proposed Section A, received 27 July 2015
 P/102 H Proposed Section B, received 27 July 2015

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P/103 K Proposed section C, received 27 July 2015
 P/104 H Proposed section D, received 27 July 2015
 P/105 A Proposed section E, received 27 July 2015
 P/106 N Proposed section F, received 27 July 2015
 P/107 B Proposed section G, received 27 July 2015
 P/200 H Proposed Broad Street Elevation roof extension, received 1 October 2015
 P/201 L Proposed Broad Street elevation, received 1 October 2015
 P/202 K Proposed Small Street elevation, received 27 July 2015
 P/203 K Proposed Courtyard elevation South East, received 27 July 2015
 P/204 K Proposed Side elevation North West, received 27 July 2015
 P/205 D Proposed roof elevation West, received 1 October 2015
 P/206 C Rear elevation - Small Street, received 27 October 2015
 P/207 C Proposed elevation Internal Courtyard Party Wall, received 1 October 2015

Reason: For the avoidance of doubt.

APPLICATION (B) - 15/03533/LA**RECOMMENDED GRANT subject to condition(s)****Time limit for commencement of development**

1. Listed Building Consent or Conservation Area Consent

The development hereby permitted shall begin before the expiration of three years from the date of this permission.

Reason: As required by Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990, as amended by Section 51 of the Planning and Compulsory Act 2004.

Pre commencement condition(s)

2. To ensure implementation of a programme of archaeological works.

No development shall take place until the applicant/developer has secured the implementation of a programme of archaeological work, in accordance with a Written Scheme of Investigation (WSI) that has been submitted by the developer and approved in writing by the Local Planning Authority. A separate WSI will be required for each phase of work if relevant (evaluation/ground investigation/initial structural investigation works; building recording works; further excavation, if required; archaeological watching brief).

The scheme of investigation shall include an assessment of significance and research questions; and:

1. The programme and methodology of site investigation and recording
2. The programme for post investigation assessment
3. Provision to be made for analysis of the site investigation and recording
4. Provision to be made for publication and dissemination of the analysis and records of the site investigation
5. Provision to be made for archive deposition of the analysis and records of the site investigation
6. Nomination of a competent person or persons/organisation to undertake the works set out within the Written Scheme of Investigation.

Development Control Committee B – 28 October 2015**Application No. 15/03532/F and 15/03533/LA: Guildhall Broad Street Bristol BS1 2HL**

Reason: To ensure that archaeological remains and features are recorded prior to their destruction.

3. To ensure the preservation of significant structures predating the 19th century Guildhall and Assize Courts

Notwithstanding the approved drawings, no work on site (including site clearance) shall take place until a design that preserves features and structures of high significance, predating the 19th Century Guildhall and Assize Court (as revealed following previous and future archaeological investigation), has been submitted and approved in writing by the Local Planning Authority. The development shall only be undertaken in accordance with the approved design/work schedule/strategy.

Reason: To ensure the preservation of features of high significance predating the 19th Century Guildhall and Assize Court.

4. To secure the appropriate removal and re-use of furniture and features of historic or architectural importance

No development of the former Guildhall, Assize Courts or Bank of England shall take place until a method statement, detailing the removal, re-use or repair of any furniture associated with the courtrooms or any other features, including fireplaces, identified for relocation in the Design and Access Statement, has been submitted and approved in writing by the Local Planning Authority. The development shall be carried out in full accordance with the approved method statement.

Reason: To ensure that alterations to the listed building have a minimal impact on its special interest.

5. To ensure a suitable foundation design to preserve archaeological features has been secured

No development shall take place until a detailed design for the foundations, piling configuration, drainage and services together with a method statement for their construction has been submitted and approved in writing by the Local Planning Authority. The development shall only take place in accordance with the approved detailed scheme.

Reason: To ensure the preservation in situ of archaeological features of identified importance.

6. Prior to the commencement of development and notwithstanding the submitted drawings, plan, elevation and sectional drawings at a scale of 1:10 of the proposed new corridor with mezzanine accommodation above shall be submitted and approved in writing by the Local Planning Authority. The relevant works shall be completed in accordance with the approved details before the hotel use commences.

Reason: To safeguard the special interest of the Grade I listed Bank of England Building.

7. To secure the conduct of a watching brief during development groundworks

The applicant/developer shall ensure that all groundworks, including geotechnical works, are monitored and recorded by an archaeologist or an archaeological organisation to be approved by the council and in accordance with the Written Scheme of Investigation approved under condition 2.

Reason: To record remains of archaeological interest before destruction.

Development Control Committee B – 28 October 2015**Application No. 15/03532/F and 15/03533/LA: Guildhall Broad Street Bristol BS1 2HL****Pre occupation condition(s)**

8. Sample Panels before specified elements started

Sample panels of the following demonstrating the colour, texture, face bond and pointing (if relevant) are to be erected on site and approved in writing by the Local Planning Authority before the relevant parts of the work are commenced. The development shall be completed in accordance with the approved samples before the building is occupied.

- a) The obscure glazed panels for the two storey Guildhall roof extension, including the colouring and bronzed aluminium frame,
- b) New stone work,
- c) Render finishes,
- d) Roof slates (Small Street and Bank of England roof extensions)

Reason: In order that the external appearance of the building is acceptable in the context of the Listed Building(s) and City and Queen Square Conservation Area.

9. To ensure the preservation of significant structures predating the 19th century Guildhall and Assize Courts

Notwithstanding the approved drawings, and before commencement of the relevant works, a revised scheme for new structural supports at all levels, informed by an archaeological investigation secured by condition 5 shall be submitted and approved in writing by the Local Planning Authority. The relevant works shall only be carried out in accordance with the approved details.

Reason: To ensure that important archaeological remains, below and above ground are preserved in situ.

10. Further details of the following before relevant element started

Detailed sectional and elevational drawings at the scale of 1:10 (unless otherwise specified) of the following shall be submitted to and be approved in writing by the Local Planning Authority before the relevant part of work is begun. The detail thereby approved shall be carried out in accordance with that approval.

- a) The two storey Guildhall roof extension, including the rebuilt third storey south east elevation;
- b) A section of the aluminium framing, external cladding and inset balconies (1:5 scale).
- c) The Small Street roof extension, including parapets, gutters, ridge and eaves;
- d) The dormer windows to the Small Street roof extension (1:5 scale);
- e) The corridor connecting the Small Street roof extension into the Guildhall;
- f) The roof extension to the Bank of England building;
- g) The dormer windows to the Bank of England Building (1:5 scale);
- h) Proposed alteration of the Small Street windows;
- i) All new windows and external door openings
- j) Proposed alteration of the Small Street windows;
- k) Door entry and other security systems to be applied to the exterior of the building
- l) All new mechanical, electrical (M&E), and other services including internal routing and external terminals, lift shafts, risers, ducts and implications to the existing building fabric
- m) All new drainage services including pipe work runs
- n) All new mains service runs including gas, electricity and water including any external meter boxes

Development Control Committee B – 28 October 2015**Application No. 15/03532/F and 15/03533/LA: Guildhall Broad Street Bristol BS1 2HL**

11. Prior to the hotel use commencing, the historic fireplace within the Guildhall Chambers shall be restored and relocated within the restaurant/bar area in accordance with a method statement (that includes details of when the historic fireplace is relocated) that shall be submitted and approved in writing by the Local Planning Authority.

Reason: To safeguard the features of the Grade II* listed Guildhall building.

12. New works to match - Listed Building

All new external and internal works and finishes, and any works of making good, shall match the existing original fabric in respect of using materials of a matching form, composition and consistency, detailed execution and finished appearance, except where indicated otherwise on the drawings hereby approved.

Reason: In order that the special architectural and historic interest of this Listed Building is safeguarded.

13. Partitions - Listed Building

All new partitions shall be scribed around the existing ornamental plaster mouldings.

Reason: To ensure that the character, appearance and integrity of the building is not prejudiced, thereby preserving its special architectural or historic interest.

List of approved plans

14. List of approved plans and drawings

The development shall conform in all aspects with the plans and details shown in the application as listed below, unless variations are agreed by the Local Planning Authority in order to discharge other conditions attached to this decision.

P/002 T Proposed Ground floor plan, received 27 July 2015
 P/003 R Proposed Basement floor plan, received 1 October 2015
 P/004 V Proposed First floor plan, received 27 July 2015
 P/005 U Proposed second floor plan, received 27 July 2015
 P/006 U Proposed Third floor plan, received 27 July 2015
 P/007 U Proposed fourth floor plan, received 27 July 2015
 P/008 N Proposed Fifth floor plan, received 27 July 2015
 P/009 B Proposed roof plan, received 8 July 2015
 P/012 E Proposed ground floor plan, received 1 October 2015
 P/013 D Proposed Basement floor plan, received 27 July 2015
 P/014 D Proposed first floor plan, received 27 July 2015
 P/015 D Proposed second floor plan, received 27 July 2015
 P/016 E Proposed Third floor plan, received 1 October 2015
 P/017 B Proposed Fourth floor plan, received 27 July 2015

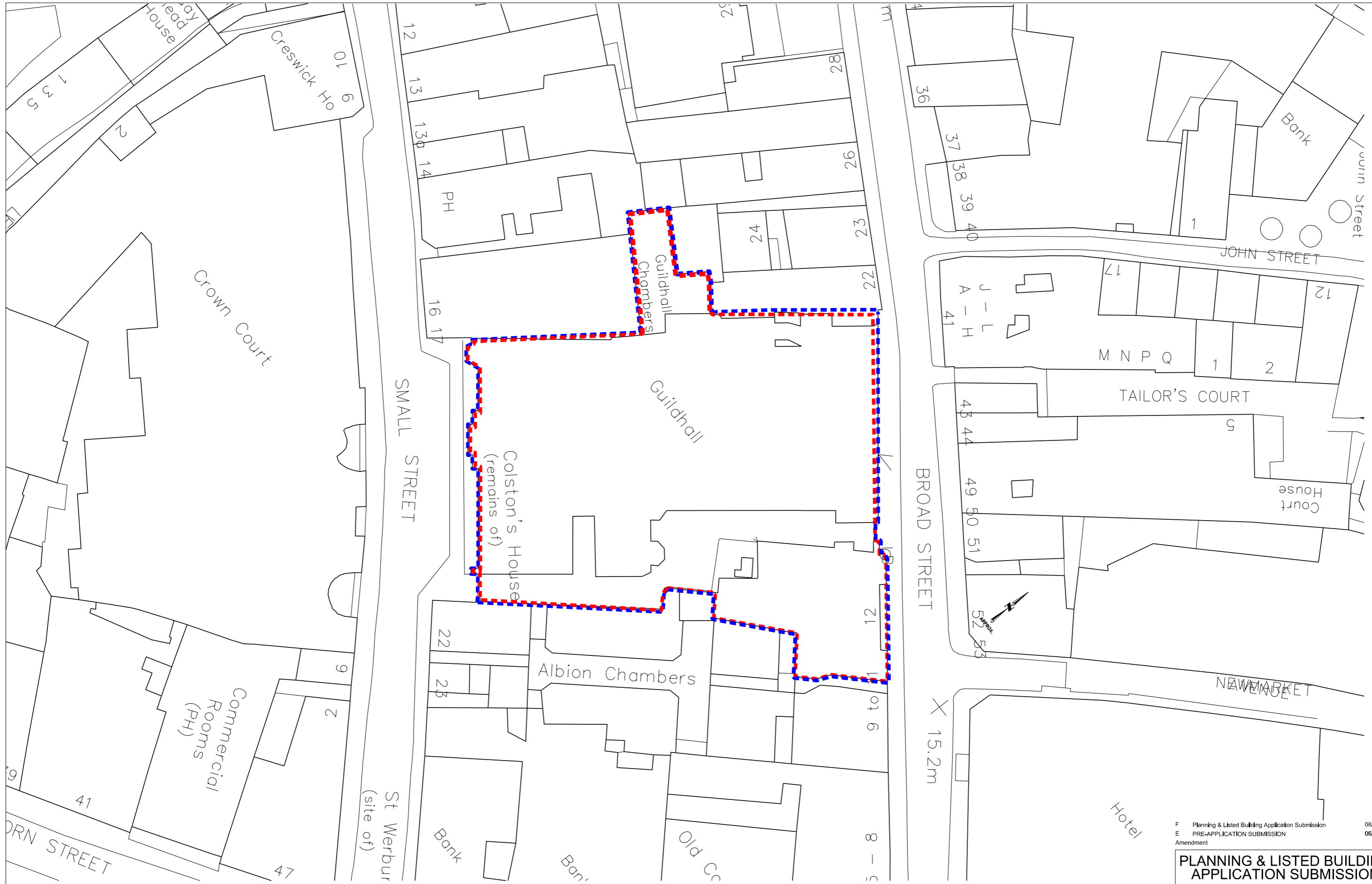
Reason: For the avoidance of doubt.

Development Control Committee B – 28 October 2015**Application No. 15/03532/F and 15/03533/LA: Guildhall Broad Street Bristol BS1 2HL****Advices**

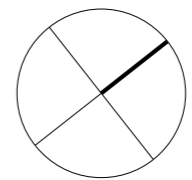
1. The development hereby approved is likely to impact on the highway network during its construction. The applicant is required to contact Highway Network Management to discuss any temporary traffic management measures required, such as footway, Public Right of Way or carriageway closures, or temporary parking restrictions. Please call 0117 9036852 or email traffic@bristol.gov.uk a minimum of eight weeks prior to any activity on site to enable Temporary Traffic Regulation Orders to be prepared and a programme of Temporary Traffic Management measures to be agreed.
2. Application for advertisement consent needed: You are reminded of the need to obtain separate consent under the Town and Country Planning (Control of Advertisements) Regulations 1992 for any advertisements requiring express consent which you may wish to display on these premises.
3. Construction site noise: Due to the proximity of existing noise sensitive development and the potential for disturbance arising from contractors' operations, the developers' attention is drawn to Section 60 and 61 of the Control of Pollution Act 1974, to BS 5528: Parts 1 and 2: 2009 Noise and Vibration Control on Construction and Open Sites code of practice for basic information and procedures for noise and vibration control" and the code of practice adopted by Bristol City Council with regard to "Construction Noise Control". Information in this respect can be obtained from Pollution Control, Brunel House, Bristol City Council, PO Box 3176, Bristol BS3 9FS.
4. Right of light: The building/extension that you propose may affect a right of light enjoyed by the neighbouring property. This is a private right which can be acquired by prescriptive uses over 20 years; as such it is not affected in any way by the grant of planning permission.
5. Minor works on the public highway: The development hereby approved includes the carrying out of work on the public highway. You are advised that before undertaking the work on the highway you must enter into a highway agreement under s184 or s278 of the Highways Act 1980 with the council. You will be required to pay fees to cover the council's costs in undertaking the approval and inspection of the works. You should contact the Highways Asset Management Team on 0117 9222100.
6. You are advised that Bristol City Council encourages all contractors to be 'Considerate Contractors' when working in the city by being aware of the needs of neighbours and the environment.

BACKGROUND PAPERS

The Victorian Society	26 August 2015
The Coal Authority	18 August 2015
Landscape	5 August 2015
City Centre Projects (Public Art)	12 October 2015
Conservation Section	12 October 2015
Archaeology Team	12 October 2015
Flood Risk Manager	18 August 2015
Urban Design	12 October 2015
Historic England	12 August 2015



- - - - - Scope of property owned by client
- - - - - Scope of property included in proposed scheme submitted for application for Listed Building Consent



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F Planning & Listed Building Application Submission 08/07/2015
 E PRE-APPLICATION SUBMISSION 06/03/2015
 Amendment Date

PLANNING & LISTED BUILDING APPLICATION SUBMISSION

GUILDHALL CHAMBERS
 BRISTOL
 SITE PLAN
 Do not scale
 Original printed at A1

Job/Drawing No
1652/SU/001
 Amendment
F

Scale 1:500 @ A3
 Date July 2012
 Drawn STUDIO 8
 All dimensions to be checked on site

REF: 1652/P/012
for Guildhall
Chambers

Small Street

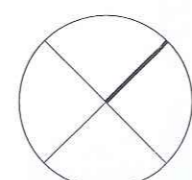
Broad Street

REF: 1652/P/002
for Guildhall

REF: 1652/P/012
for Bank of England

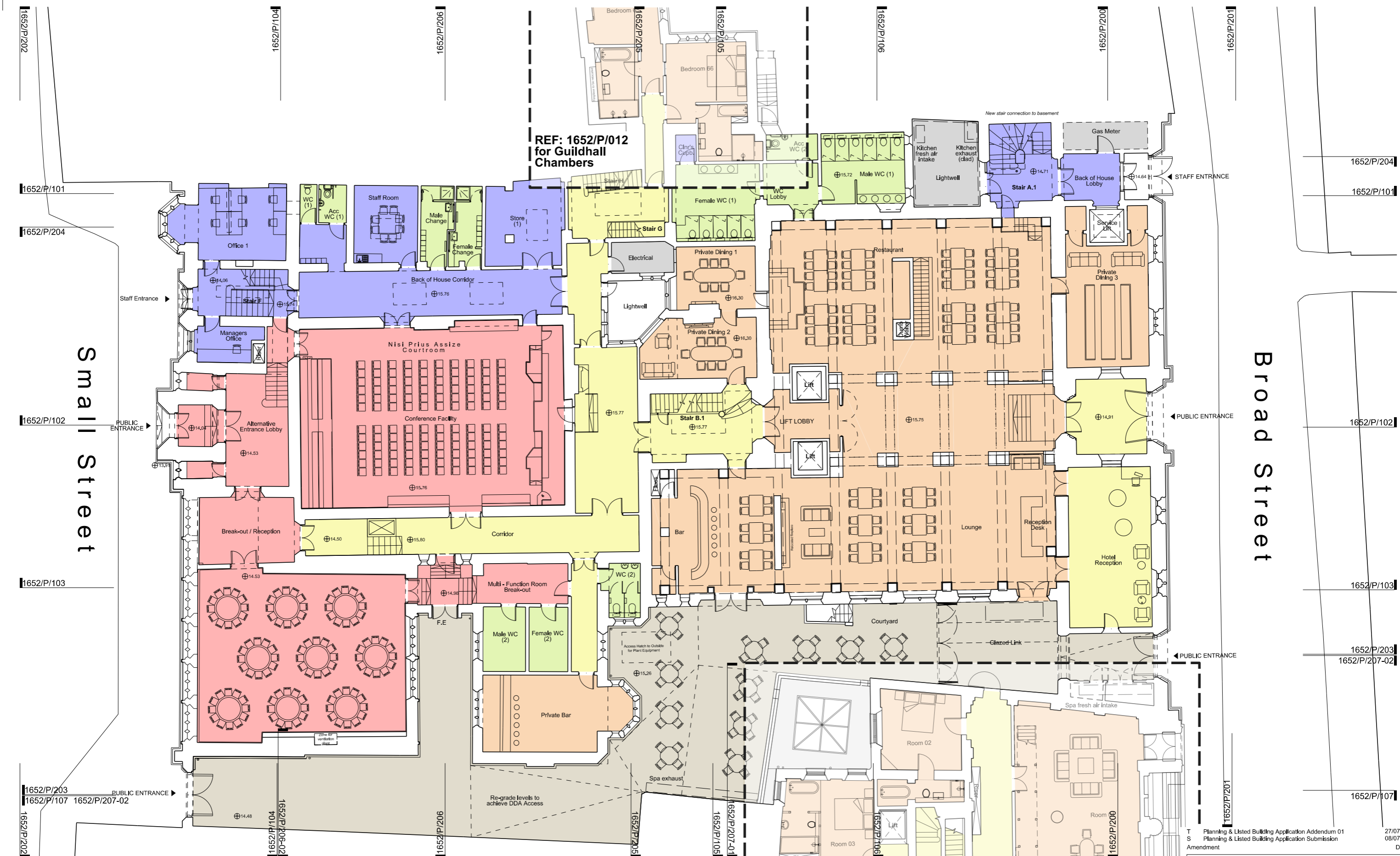
- Hotel Circulation
- Restaurant / Bar
- Multi-Function Venue
- Hotel Bedrooms
- Hotel Spa and Treatments
- General Storage
- Hotel Back of House
- WC's
- Plant
- External Area

PLANNING & LBC APPLICATION

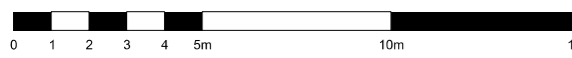


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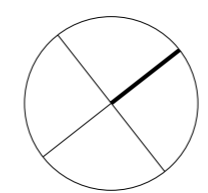
Amendment	Date
BRISTOL GUILDHALL GROUND FLOOR PLAN PLANNING & LBC REGISTRATION	1652/P/020 Scale 1:200 (1:400 @ A3) Date July 2015 Drawn CW
Do not scale	All dimensions to be checked on site



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- Hotel Circulation
- Restaurant / Bar
- Multi-Function Venue
- Hotel Bedrooms
- Hotel Spa and Treatments
- General Storage
- Hotel Back of House
- WC's
- Plant
- External Area



REF: 1652/P/012 for Bank of England

PLANNING & LISTED BUILDING APPLICATION SUBMISSION

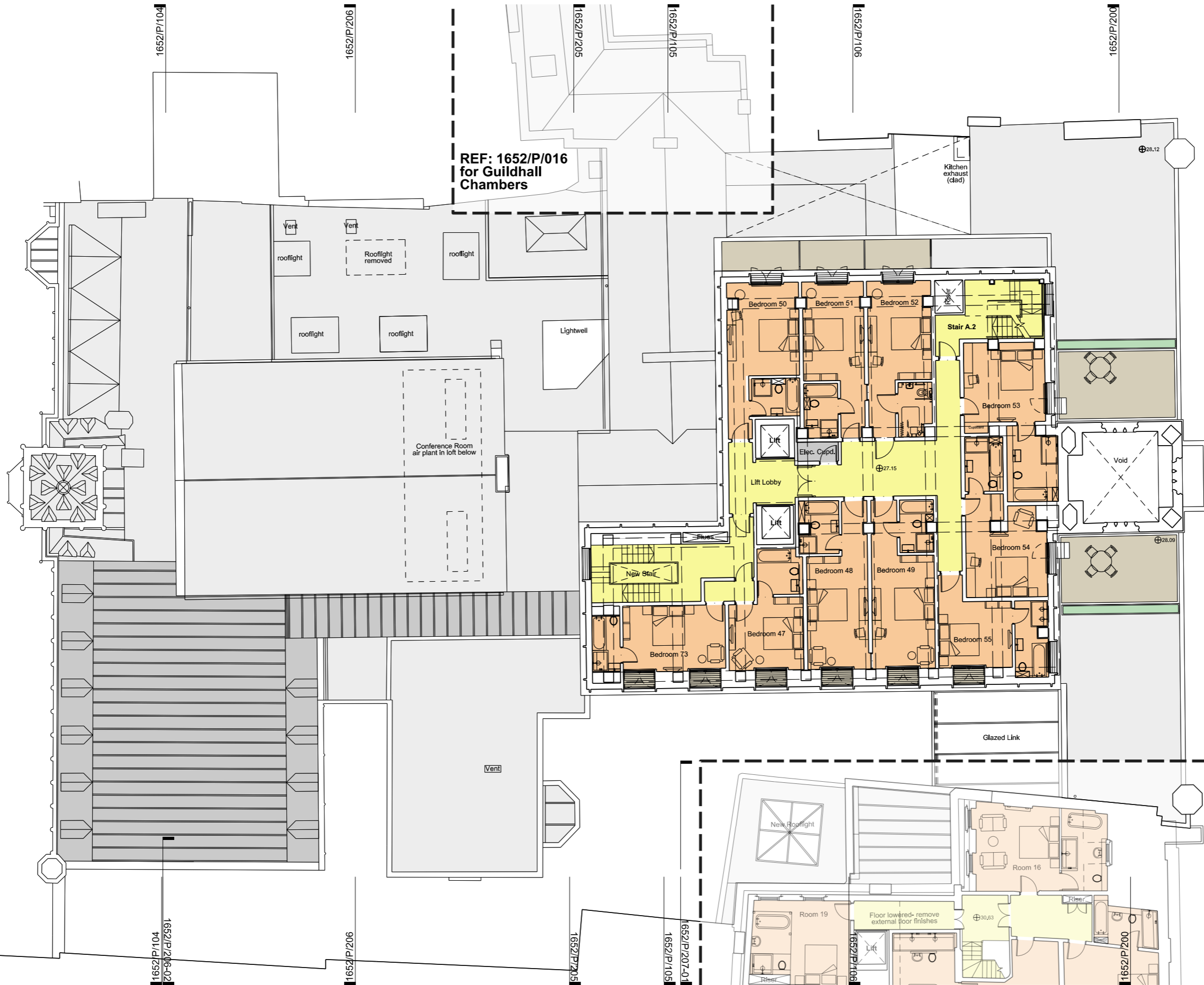
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e bath@fcbstudios.com

Job/Drawing No. Amendment
1652/P/002 T
GUILDHALL CHAMBERS
BRISTOL
GROUND FLOOR PLAN
AS PROPOSED
Scale 1:100 (1:200 @ A3)
Date July 2012
Drawn STUDIO 8
Do not Scale
All dimensions to be checked on site

T S Planning & Listed Building Application Addendum 01 27/07/15
Planning & Listed Building Application Submission 08/07/15
Amendment Date

REF: 1652/P/016
for Guildhall
Chambers

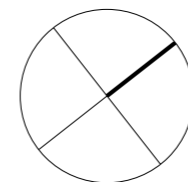
REF: 1652/P/016
for Bank of England



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- Hotel Circulation
- Restaurant / Bar
- Multi-Function Venue
- Hotel Bedrooms
- Hotel Spa and Treatments
- General Storage
- Hotel Back of House
- WCs
- Plant
- External Area



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U Planning & Listed Building Application Addendum 01 27/07/15
T Planning & Listed Building Application Submission 08/07/15
Amendment Date

**PLANNING & LISTED BUILDING
APPLICATION SUBMISSION**

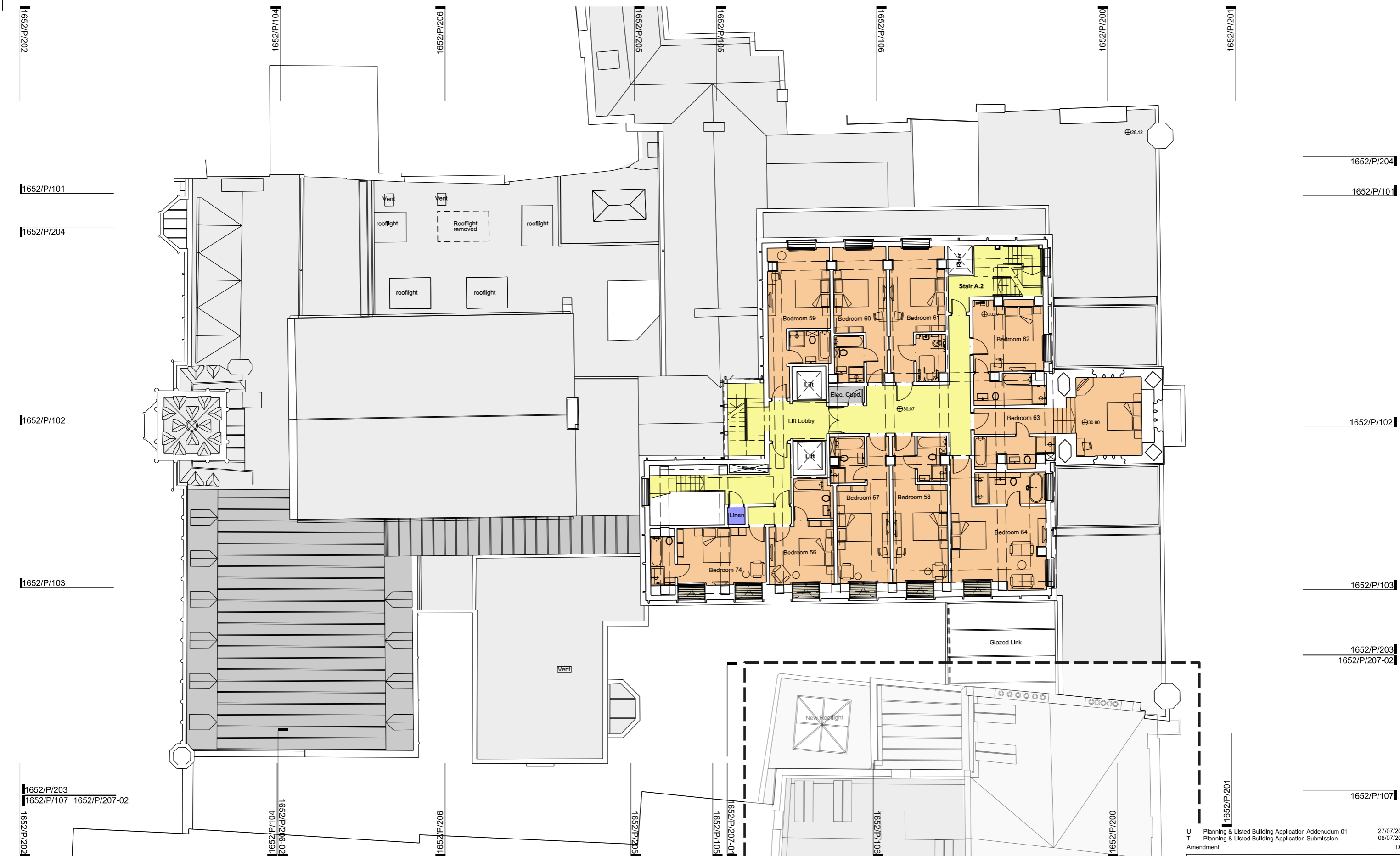
GUILDHALL CHAMBERS
BRISTOL
THIRD FLOOR PLAN
AS PROPOSED

Do not Scale

Job/Drawing No
1652/P/006 U
Scale 1:100 (1:200 @ A3)
Date July 2012
Drawn STUDIO 8

All dimensions to be checked on site

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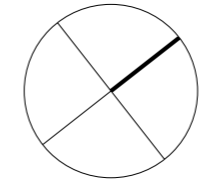
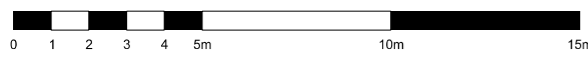


REF: 1652/P/017
for Bank of England

PLANNING & LISTED BUILDING APPLICATION SUBMISSION

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- Hotel Circulation
- Restaurant / Bar
- Multi-Function Venue
- Hotel Bedrooms
- Hotel Spa and Treatments
- General Storage
- Hotel Back of House
- WC's
- Plant
- External Area

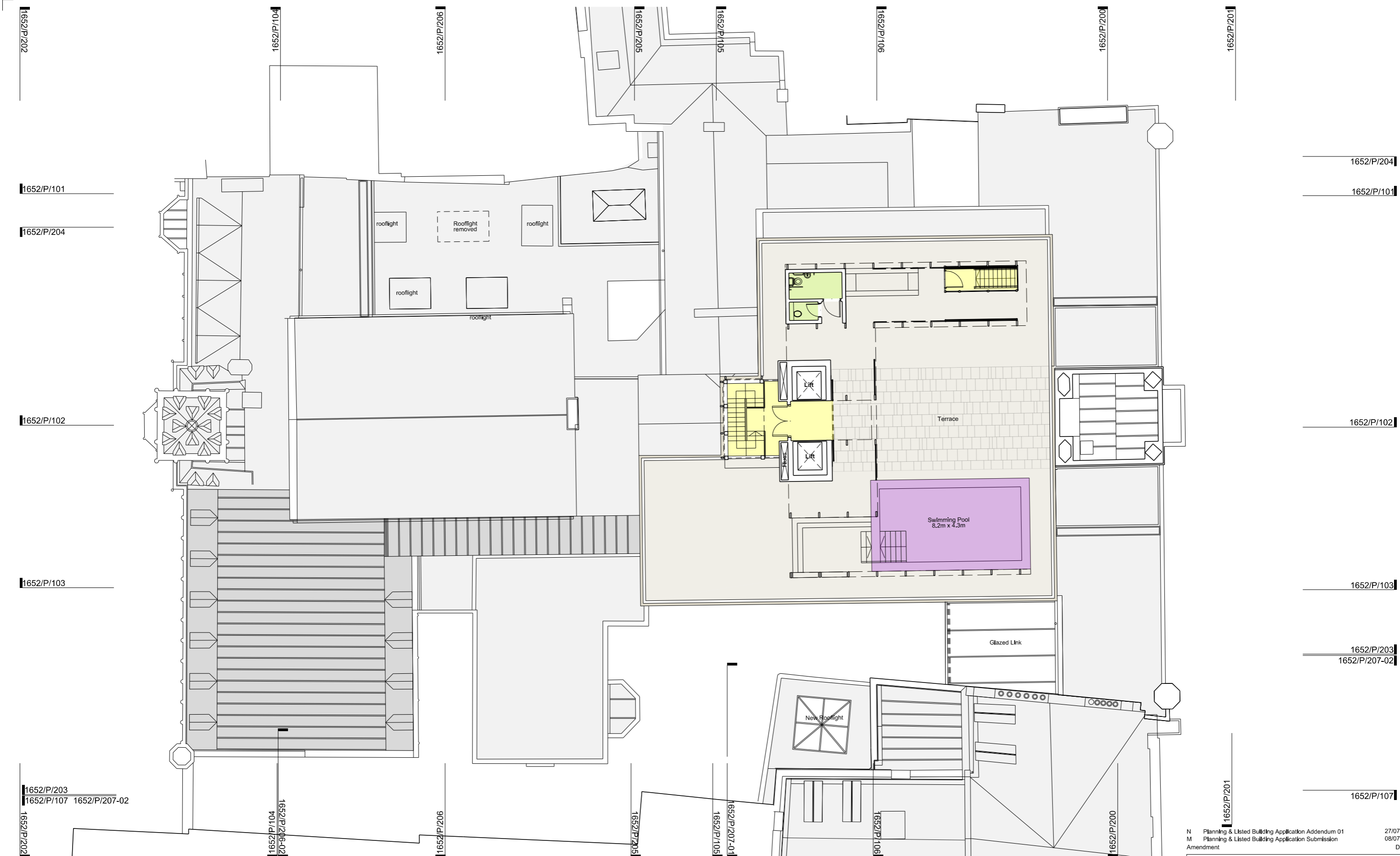


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Job/Drawing No
1652/P/007 U
BRISTOL
FOURTH FLOOR PLAN
AS PROPOSED
Scale 1:100 (1:200 @ A3)
Date July 2012
Drawn STUDIO 8
Do not Scale
All dimensions to be checked on site

U Planning & Listed Building Application Addendum 01 27/07/2015
T Planning & Listed Building Application Submission 08/07/2015
Amendment Date

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- | | |
|------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------|
| Hotel Circulation | General Storage |
| Restaurant / Bar | Hotel Back of House |
| Multi-Function Venue | WC's |
| Hotel Bedrooms | Plant |
| Hotel Spa and Treatments | External Area |

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N Planning & Listed Building Application Addendum 01 27/07/15
M Planning & Listed Building Application Submission 08/07/15
Amendment Date

PLANNING & LISTED BUILDING APPLICATION SUBMISSION

Job/Drawing No Amendment
1652/P/008 N

GUILDHALL CHAMBERS
BRISTOL
FIFTH FLOOR PLAN
AS PROPOSED

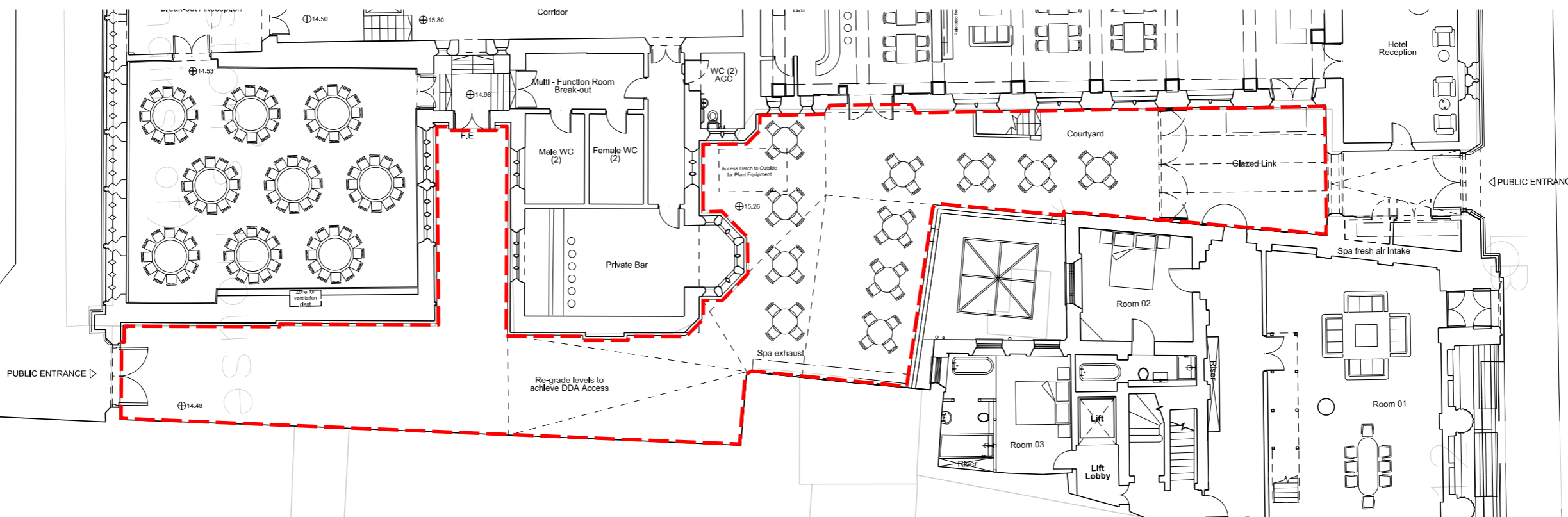
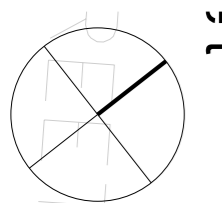
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Do not Scale All dimensions to be checked on site

Original printed at A1



South East Elevation



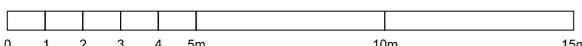
Courtyard Plan

AGREED AREA OF CONDITION DISCHARGE

Amendment _____ Date _____

PLANNING & LBC

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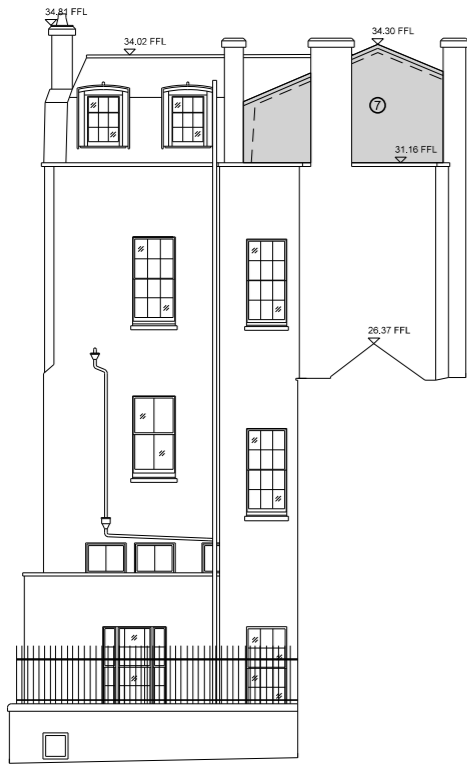
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GUILDHALL CHAMBERS
 BRISTOL
 GROUND FLOOR PLAN
 PLANNING & LBC
 AREA OF CONDITION DISCHARGE

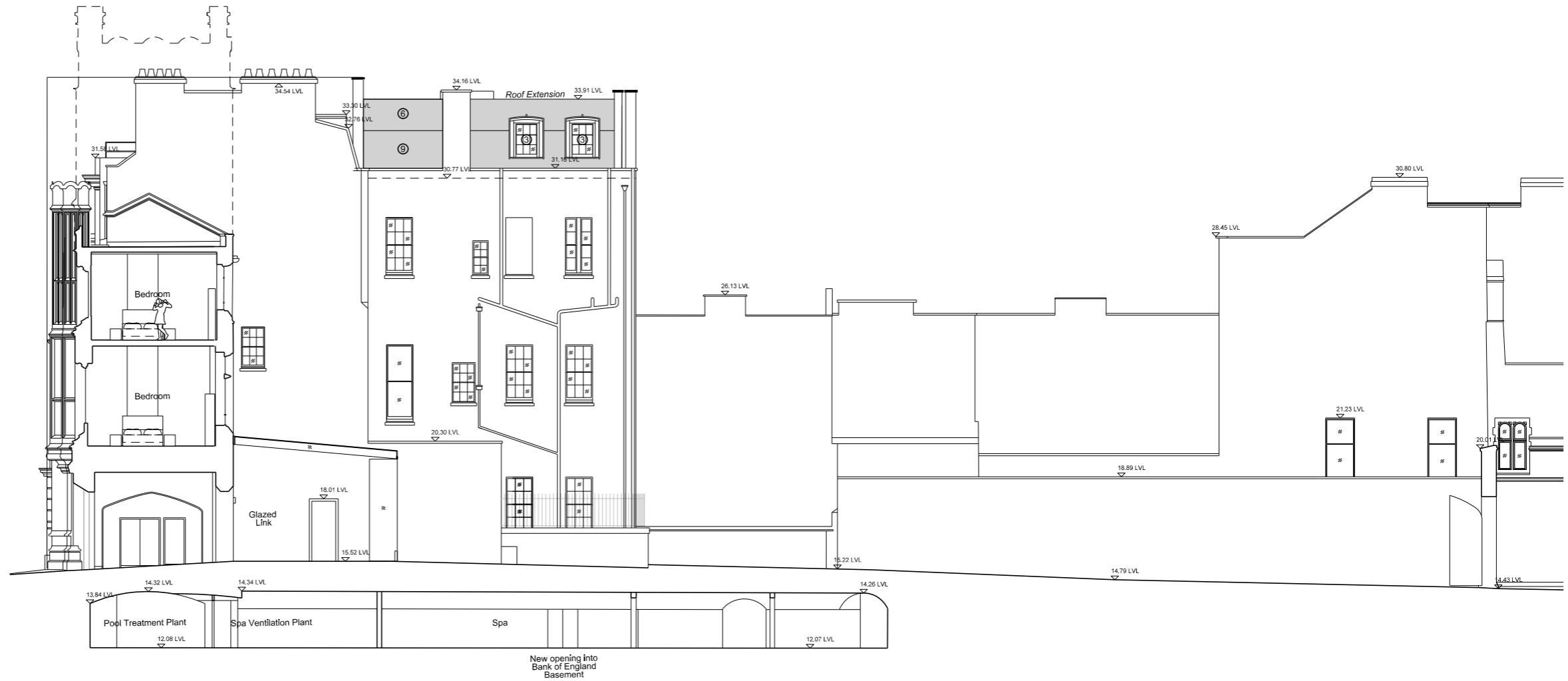
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1652/P/021
 Amendment _____
 Scale 1:100 (1:200 @ A3)
 Date Sept 2015
 Drawn CW

All dimensions to be checked on site

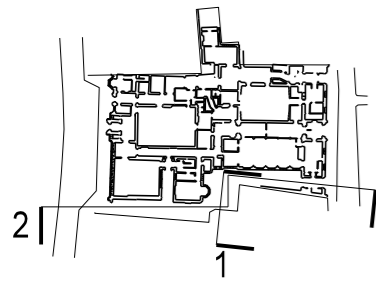
Original printed at A1



01. PROPOSED INTERNAL COURTYARD PARTY WALL ELEVATION

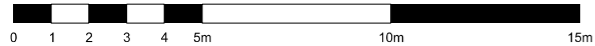


02. PROPOSED INTERNAL COURTYARD PARTY WALL ELEVATION



2 |

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- ① Anodised Aluminium Panels
- ② Anodised Aluminium Frame
- ③ Glass Window
- ④ Glass Door
- ⑤ Glass Balustrade
- ⑥ Slate Tile
- ⑦ Ashlar Limestone
- ⑧ Render
- ⑨ Lead

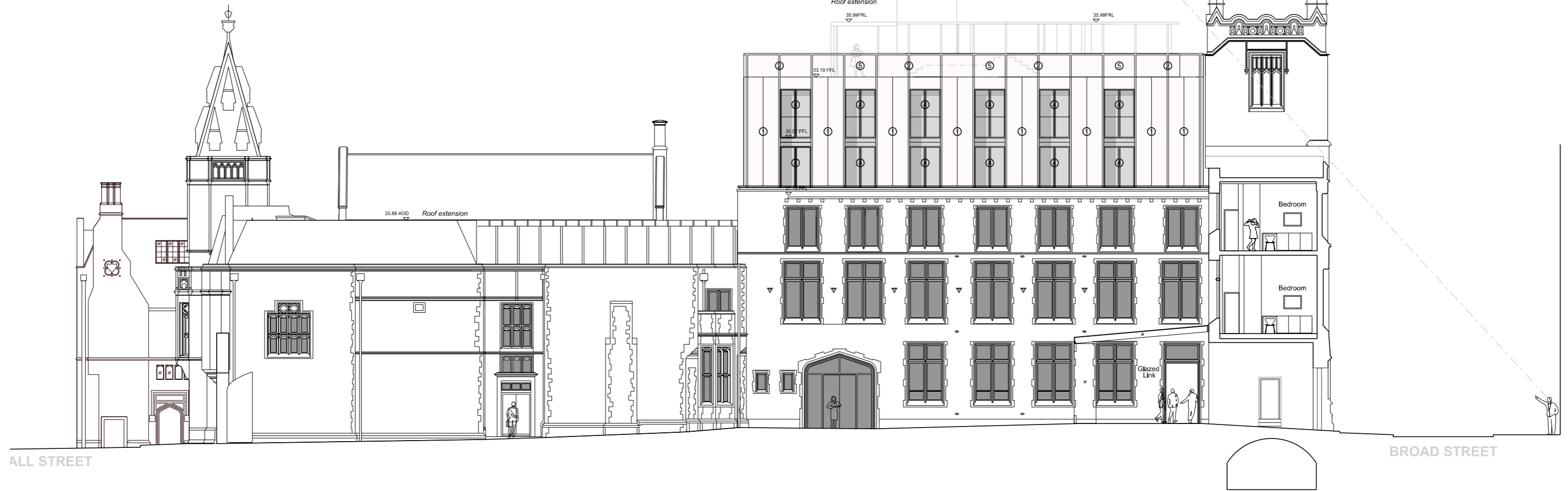
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B Planning & Listed Building Application Addendum 01 27/07/2015
 A Planning & Listed Building Application Submission 08/07/2015
 Amendment Date

PLANNING & LISTED BUILDING APPLICATION SUBMISSION

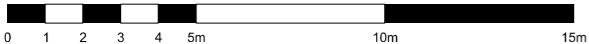
GUILDHALL CHAMBERS BRISTOL
 INTERNAL COURTYARD PARTY WALL ELEVATION AS PROPOSED
 Do not Scale
 Job/Drawing No 1652/P/207
 Amendment B
 Scale 1:100 (1:200 @ A3)
 Date July 2012
 Drawn STUDIO 8
 All dimensions to be checked on site

Original printed at A1



01. PROPOSED INTERNAL COURTYARD ELEVATION

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- ① Anodised Aluminium Panels
- ② Anodised Aluminium Frame
- ③ Glass Window
- ④ Glass Door
- ⑤ Glass Balustrade
- ⑥ Slate Tile
- ⑦ Ashlar Limestone
- ⑧ Render
- ⑨ Lead

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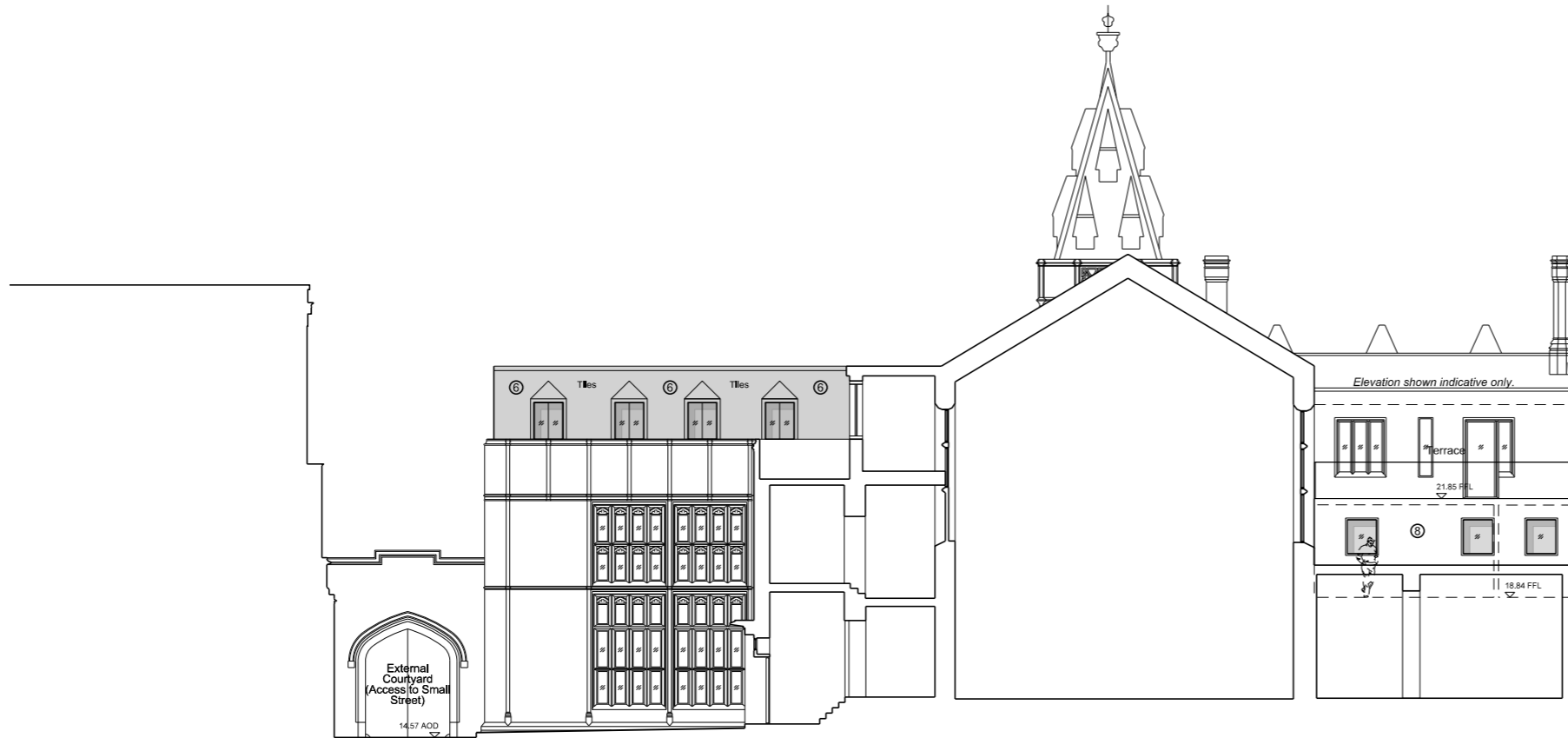
K Planning & Listed Building Application Addendum 01 27/07/2015
 J Planning & Listed Building Application Submission 08/07/2015
 Amendment Date

PLANNING & LISTED BUILDING APPLICATION SUBMISSION

GUILDHALL CHAMBERS BRISTOL
 COURTYARD ELEVATION SOUTH-EAST AS PROPOSED
 Job/Drawing No 1652/P/203
 Amendment K
 Scale 1:100 (1:200 @ A3)
 Date July 2012
 Drawn STUDIO 8

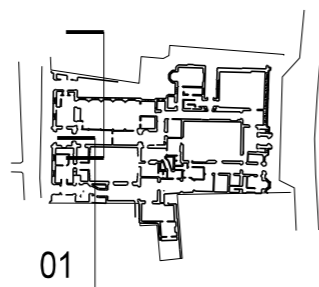
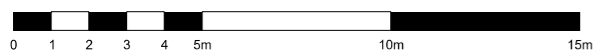
Do not Scale All dimensions to be checked on site

Original printed at A1



01. PROPOSED SMALL STREET ROOF EXTENSION SOUTH - REAR ELEVATION

Note: Survey information contained in this drawing has been created by Anthony Brookes Surveys Ltd. All survey information is issued in good faith. Feilden Clegg Bradley Studios LLP will not be held responsible for any inaccuracies identified.



- ① Anodised Aluminium Panels
- ② Anodised Aluminium Frame
- ③ Glass Window
- ④ Glass Door
- ⑤ Glass Balustrade
- ⑥ Slate Tile
- ⑦ Ashlar Limestone
- ⑧ Render
- ⑨ Lead

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C Planning & Listed Building Application Addendum 01 27/07/2015
B Planning & Listed Building Application Submission 08/07/2015
Amendment Date

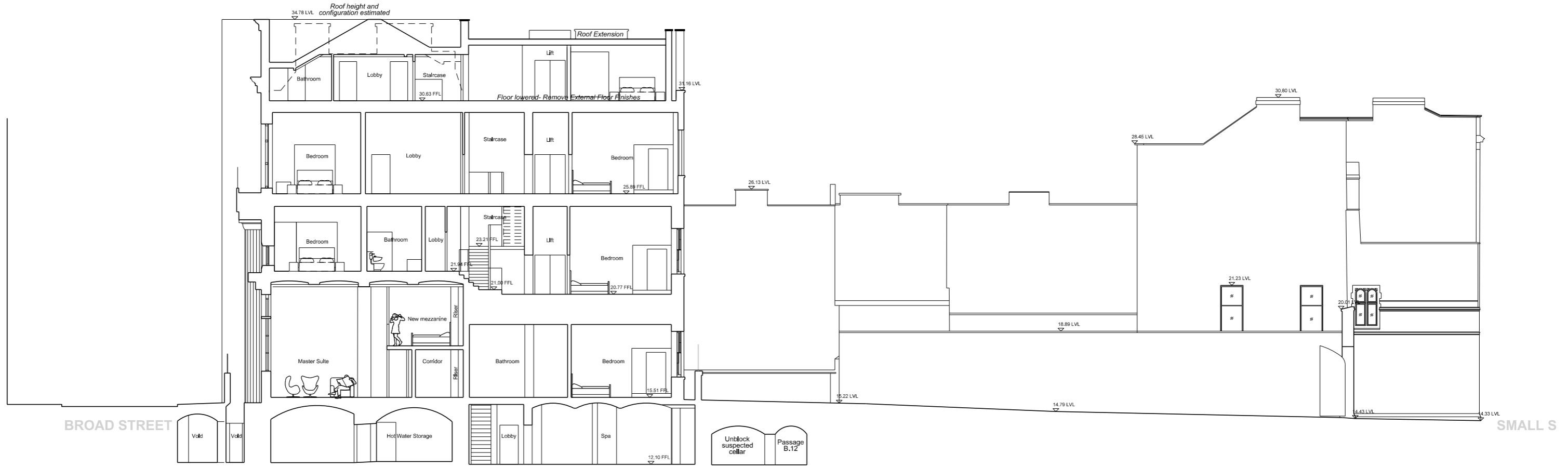
PLANNING & LISTED BUILDING APPLICATION SUBMISSION

GUILDHALL CHAMBERS BRISTOL
SMALL STREET RANGE
REAR ELEVATIONS
AS PROPOSED
Do not Scale

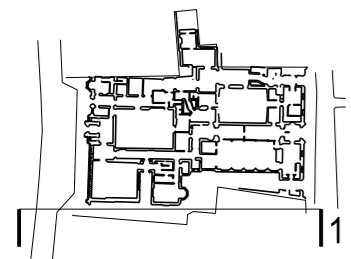
Job/Drawing No
1652/P/206
Amendment
C

Scale 1:100 (1:200 @ A3)
Date April 2013
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All dimensions to be checked on site

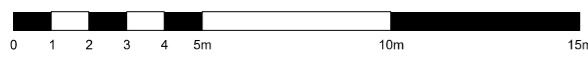
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01 PROPOSED LONG SECTION G



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B Planning & Listed Building Application Addendum 01 27/07/2015
 A Planning & Listed Building Application Submission 08/07/2015
 Amendment Date

PLANNING & LISTED BUILDING APPLICATION SUBMISSION

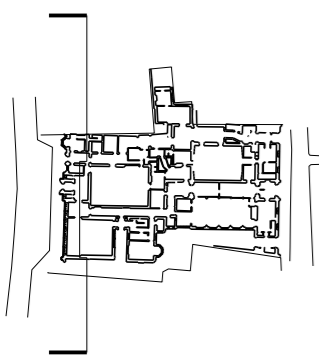
FeildenCleggBradleyStudios LLP
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 Bath BA1 7DE
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 f 01225 852528
 e bath@fcbstudios.com

Job/Drawing No Amendment
1652/P/107 B
 GUILDHALL CHAMBERS
 BRISTOL
 SECTION G
 AS PROPOSED
 Scale 1:100 (1:200 @ A3)
 Date July 2012
 Drawn STUDIO 8
 Do not Scale
 All dimensions to be checked on site

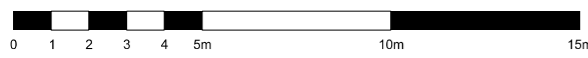
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01 PROPOSED CROSS SECTION D



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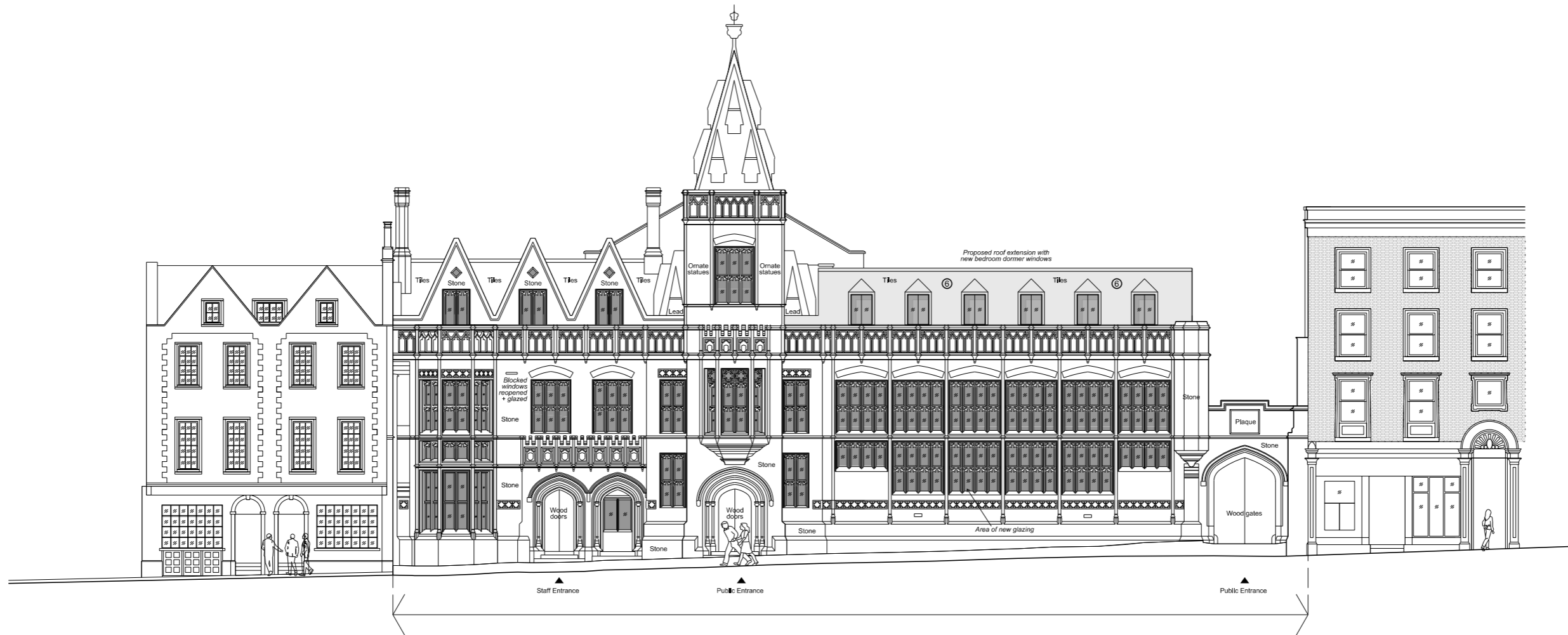


H Planning & Listed Building Application Addendum 01 27/07/2015
 G Planning & Listed Building Application Submission 08/07/2015
 Amendment Date

PLANNING & LISTED BUILDING APPLICATION SUBMISSION

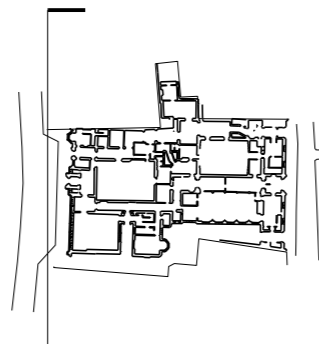
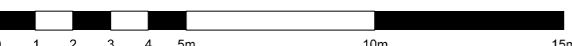
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GUILDHALL CHAMBERS
 BRISTOL
 SECTION D
 AS PROPOSED
 Do not Scale
 Job/Drawing No
1652/P/104
 Amendment
H
 Scale 1:100 (1:200 @ A3)
 Date July 2012
 Drawn STUDIO 8
 All dimensions to be checked on site



01. PROPOSED SMALL STREET ELEVATION

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- ① Anodised Aluminium Panels
- ② Anodised Aluminium Frame
- ③ Glass Window
- ④ Glass Door
- ⑤ Glass Balustrade
- ⑥ Slate Tile
- ⑦ Ashlar Limestone
- ⑧ Render
- ⑨ Lead

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K Planning & Listed Building Application Addendum 01 27/07/2015
 J Planning & Listed Building Application Submission 08/07/2015
 Amendment Date

PLANNING & LISTED BUILDING APPLICATION SUBMISSION

GUILDHALL CHAMBERS BRISTOL
 SMALL STREET ELEVATION AS PROPOSED
 Job/Drawing No 1652/P/202
 Amendment K
 Scale 1:100 (1:200 @ A3)
 Date September 2012
 Drawn STUDIO 8
 Do not Scale All dimensions to be checked on site